

**TOWN OF MEAD, COLORADO  
RESOLUTION NO. 95-R-2020**

**A RESOLUTION OF THE TOWN OF MEAD, COLORADO, GRANTING  
CONDITIONAL ACCEPTANCE OF THE PHASE 1 THROUGH PHASE 5  
IMPROVEMENTS (SORRENTO SUBDIVISION FINAL PLAT)**

**WHEREAS**, Eagle Development Company, a Colorado corporation having a principal office address of 212 N. Wahsatch Avenue, Suite 301, Colorado Springs, CO 80903 (“Developer”), operating by and through Encore Energy Investments LLC, Lorson South Land Corp., Babcock Exchange, LLC and Babcock Land Corp., has caused the completion of certain public improvements benefitting the Sorrento Final Plat (“Development”), specifically the public improvements associated with Phase 1 through Phase 5 of the Development, including the installation of concrete curb and gutter, sidewalks, asphalt paving, landscaping, and storm drainage facilities (collectively, the “Improvements”); and

**WHEREAS**, the Improvements are identified in that certain Subdivision Improvement Agreement dated October 29, 2018 and recorded on December 3, 2018 at Reception No. 4450516 in the Weld County property records (assigned pursuant to that certain Assignment and Assumption of Subdivision Improvements Agreement dated December 12, 2018 and recorded on December 14, 2018 at Reception No. 4453787 in the Weld County property records) and that certain First Amendment to Subdivision Improvement Agreement dated March 21, 2020 and recorded on April 27, 2020 at Reception No. 4585671 in the Weld County property records (together, the “SIA”); and

**WHEREAS**, the Improvements are subject to a warranty period of two (2) years following the conditional acceptance of the improvements; and

**WHEREAS**, Developer has requested conditional acceptance of the Improvements by the Board of Trustees of the Town of Mead; and

**WHEREAS**, the Town Engineer has reviewed the construction of Improvements, has determined that the Improvements have been constructed and installed in substantial conformance with the Town’s construction standards, and is recommending that the Board grant conditional acceptance of the Improvements effective as of December 14, 2020, subject to the conditions set forth in JVA and Staff memos identifying Final Punchlist items associated with the Improvements, copies of which are attached to this Resolution as **Exhibit A** (consisting of a total of 53 pages); and

**WHEREAS**, the Board of Trustees desires to grant conditional acceptance of the Improvements subject to the conditions set forth in this Resolution; and

**WHEREAS**, the *Mead Municipal Code* (“MMC”) requires the Developer to maintain the Improvements for a two (2) year period from the date of conditional acceptance and clarifies that the Developer shall, at its own expense, take all actions necessary to maintain the Improvements and make needed repairs or replacements that, in the reasonable opinion of the Town (and the Town Engineer), shall become necessary; and

**WHEREAS**, if the Developer fails to make necessary repairs to the Improvements in accordance with the requirements set forth in the MMC, the Town may withhold final acceptance of the Improvements, may proceed to withhold building permits, temporary certificates of occupancy, or certificates of occupancy for those lots located within boundaries of the Development, or may take any other action authorized by Section 14.16 of the SIA (“Remedies”).



**NOW THEREFORE, BE IT RESOLVED** by the Town of Mead, Weld County, Colorado, that:

**Section 1. Conditional Acceptance of Public Improvements.** The Board of Trustees on behalf of the Town of Mead, hereby grants “conditional acceptance” of the Improvements identified in this Resolution and orders the commencement of the two (2) year warranty period on December 14, 2020.

**Section 2. Developer Obligation to Maintain Improvements during Guarantee Period.** Developer shall maintain the Improvements for a two (2) year period from the date of conditional acceptance (the “Guarantee Period”). Developer shall, at its own expense, take all actions necessary to maintain the Improvements and make needed repairs or replacements that, in the reasonable opinion of the Town (and the Town Engineer), shall become necessary during the Guarantee Period. Failure of the Developer to maintain the Improvements during the Guarantee Period shall violate the requirements this Section 2 and shall constitute a violation of the MMC pursuant to MMC Sec. 16-6-10(c)(1)(g). In addition to any contractual remedies available to the Town under the SIA, Town Staff shall be authorized to take any and all enforcement actions as necessary to ensure that the Developer completes necessary repairs and replacements of the Improvements during the Guarantee Period and prior to final acceptance of the Improvements, as authorized by the MMC, including but not limited to the enforcement actions set forth in Article VI of Chapter 16 of the MMC.

**Section 3. Severability.** If any part, section, subsection, sentence, clause or phrase of this resolution is for any reason held to be invalid, such invalidity shall not affect the validity of the remaining sections of the resolution. The Town Board hereby declares that it would have passed the resolution including each part, section, subsection, sentence, clause or phrase thereof, irrespective of the fact that one or more parts, sections, subsections, sentence, clauses or phrases are declared invalid.

**Section 4. Repealer.** All resolutions and motions of the Board of Trustees of the Town of Mead or parts thereof, in conflict with this resolution are to the extent of such conflict hereby superseded and repealed, provided that such repealer shall not repeal the repealer clauses of such resolution or motion, no revive any resolution or motion thereby.

**Section 5. Effective Date.** This resolution shall become effective immediately upon adoption.

**Section 6. Certification.** The Town Clerk shall certify to the passage of this resolution and make not less than one copy of the adopted resolution available for inspection by the public during regular business hours.

**INTRODUCED, READ, PASSED, AND ADOPTED THIS 14<sup>TH</sup> DAY OF DECEMBER, 2020.**

**ATTEST:**

**TOWN OF MEAD**

By

  
Mary E. Strutt, MMC, Town Clerk

By

  
Colleen G. Whitlow, Mayor



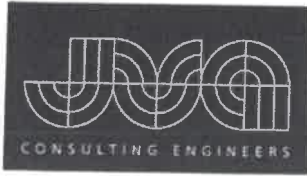


**Exhibit A**

**JVA and Town Staff memos identifying required Punchlist Items  
Improvements – Sorrento Subdivision Final Plat  
(attached – 53 pages)**

Infrastructure Phases 1-3  
Infrastructure Phases 4-5  
Landscaping Phases 1-3  
Offsite infrastructure (Phase 3)  
Landscaping Phases 4-5





JVA, Incorporated  
1319 Spruce Street  
Boulder, CO 80302  
303.444.1951  
info@jvajva.com

August 6, 2020

Ms. Erika Rasmussen, P.E., Town Engineer / Public Works Direction  
Town of Mead  
441 Third Street  
Mead, CO 80542

www.jvajva.com

Reference: Sorrento Subdivision Phases 1-3 – Recommendation for Conditional Acceptance  
JVA Job No. 1970.101c

Dear Erika:

This letter serves to recommend Town of Mead to issue a Conditional Acceptance for the Sorrento Subdivision, Phases 1-3 right-of-way construction activities in accordance with Section 202.8 of the Town of Mead Final Standards and Specifications. The project has been completed in general conformance with the approved plans and specifications for Phases 1-3 except for the eastern portion of County Road 32 to County Road 7. An additional punchwalk of the eastern portion of County Road 32 will need to be scheduled upon completion of the construction activities. The project includes the curb, gutter, curb ramps, asphalt paving for the public streets; and storm infrastructure located within Phases 1-3.

A definitive list of items to be completed or corrected has been provided from the project punchwalks during June and July 2020, and is attached hereto. Landscape comments generated by Town Staff will be included under a separate report for inclusive into punchlist repair requirements. The developer shall complete all repairs within 30-days, unless otherwise directed by Town of Mead Public Work's Staff or JVA. JVA would recommend conditional acceptance once all items on the punchlists have been completed and signed off by Town Staff. Upon issuance of the Conditional Acceptance, the project will enter the two-year warranty period. JVA and/or Town Staff must complete a final inspection at the end of warranty period prior to Final Acceptance of the Sorrento Subdivision Phases 1-3.

JVA recommends conditional acceptance of the Sorrento Subdivision Phases 1-3 be granted, with the warranty period beginning upon acceptance by Town Staff of the punchlist repairs.

Sincerely,  
JVA, Incorporated

By:

A handwritten signature in blue ink, appearing to read 'Ken Clifford', is written over a horizontal line.

Kenneth J. Clifford, P.E.  
Project Manager



**JVA Incorporated**  
 1319 Spruce Street  
 Boulder, CO 80302  
 Ph: 303-444-1951  
 Fax: 303-444-1957

**TO:** Town of Mead  
**ATTN:** Erika Rasmussen  
**CONTRACTOR:** GLH  
**PROJECT NAME:** Sorrento Subdivision - Phases 1-3  
**PUNCHWALK DATES:** 6/1, 6/8, 6/9, 6/18, 6/23

## PUNCH LIST TRACKING SHEET

SHT No.	LOCATION	PUNCH LIST ITEM	GLH Sign-Off (xx/xx/2020)	JVA Sign-Off (xx/xx/2020)	Town Sign-Off (xx/xx/2020)
1	General	Clean and maintain sediment out of project right-of-ways			
2	General	Repair, clean, and maintain all erosion control measures per Stormwater Permit requirements			
3	General	Establish permanent stabilization and vegetation prior to final approval			
4	General	Modify and seal expansion joints per Town of Mead standards			
5	General	Complete landscape punchlist items that are to be submitted under a separate report			
6	General	Clean residual concrete splatter on areas previously removed and replaced			
7	General	Remove construction debris from right-of-way			
8	General	Repair unacceptable aesthetic workmanship of concrete as shown on attached figures			
9	General	Provide means of asphalt repair in damaged areas. Infrared asphalt treatment is not an acceptable repair means.			
10	General	Remove and replace damaged concrete that is not acceptable to be patched as shown on attached figures			
11	General	Remove and replace concrete that does not meet ADA standards as shown on attached figures. This includes tie-ins that exceed 1/4" vertical differences			
12	General	Provide repair plan for areas of asphalt settling. Repair plan shall include, but not limited to, believed reasoning for settling, and confirm that positive drainage will be obtained			
13	General	Provide repair plan for settling around manhole and valve covers			
14	General	Remove accumulated debris from asphalt and concrete without damaging surfacing.			





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## PUNCH LIST TRACKING SHEET

SHT No.	LOCATION	PUNCH LIST ITEM	GLH Sign-Off (xx/xx/2020)	JVA Sign-Off (xx/xx/2020)	Town Sign-Off (xx/xx/2020)
	General	15 Reset loose street signs.			
	General	16 Ensure manhole lids and gate valve covers open and are operable as shown on attached figures			
	General	17 Clean up debris.			
	General	18 Remove and replace flatwork at noted low spots. Ensure positive drainage with Town Staff prior to final acceptance.			
	General	19 Provide solution for gap between asphalt and concrete curb and gutter. Repair per approved plan			
	General	20 Provide repair plan for slippage cracks. Repair per approved plan			
	General	21 Replace dead trees			
	General	22 Remove and replace settled concrete gutter / pan sections as shown on attached figures			
	General	23 Seal concrete control joints larger than 1/8" gap			
	General	24 Replace curb ramps with negative slope (trapping water and sediment)			
	General	25 Previously replaced concrete patching appears to be cracking at areas overlapping with asphalt. Coordinate repairs w/ Town Staff			
	General	26 Remove weeds in concrete and asphalt surfaces, and apply herbicide to open flatwork joints.			
	General	27 Remove and replace trip hazards. Trip hazards include vertical differences equal to or greater in the following surfaces: 1/2" concrete, and 3/4" asphalt as shown on attached figures			
	General	28 Provide temporary patch of asphalt ponding areas if repairs will extend beyond upcoming winter season			



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## PUNCH LIST TRACKING SHEET

SHT No.	LOCATION	PUNCH LIST ITEM	GLH Sign-Off (xx/xx/2020)	JVA Sign-Off (xx/xx/2020)	Town Sign-Off (xx/xx/2020)
	General	29 Ensure positive drainage from landscape onto flatwork			
	Lineback Drive	30 Repair Type R inlet to be located per Contract Documents			
	General	31 Repair areas where ponding water / stormwater enters subgrade prior to upcoming winter season			
	General	32 Contractor to reevaluate concrete flatwork with Town in Spring 2021 to determine areas of additional concrete movement			
	WCR 5	33 Flush and remove sediment from culverts and storm infrastructure			
	WCR 5 / Highway 66	34 Remove existing striping line work, and paint lines to provide 12' wide land widths. Shoulder widths measure wider than 4'			
	Highway 66	35 Install delineators per plans			
	WCR 5	36 Fill voids from utility potholing			
	WCR 5	37 Relocate stop sign ahead sign per Contract Documents			
	WCR 5	38 Complete installation of double yellow line			
	WCR 5	39 Remove and replace curb and gutter that extends into travel way as shown on attached figures			
	Highway 66	40 Remove and replace striping in tapered areas to conform to Contract Documents			
	WCR 5 & WCR 32	41 Clean all areas where asphalt is overlapping gutter. Provide smooth transition at ADA ramp areas			
	Intersection of WCR5 & HWY 66	42 Spot checks of lane widths are between 10' 4" and 11' 8". R&R striping to not damage asphalt and provide a 12' min lane width			



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## PUNCH LIST TRACKING SHEET

SHT No.	LOCATION	PUNCH LIST ITEM	GLH Sign-Off (xx/xx/2020)	JVA Sign-Off (xx/xx/2020)	Town Sign-Off (xx/xx/2020)
	HWY 66	43 Confirm with CDOT approval of Highway 66 striping in writing. Revise striping to conform to contract documents.			
	Landscape Concrete Pan	44 Provide positive drainage toward concrete pans onsite where landscape finished grade has washed out			
	Northeast Storm Infrastructure	45 Clean sediment and place riprap to be flush with FES to prevent structure washouts as shown on attached figures			
	WCR 32	46 Provide positive drainage grade between detached sidewalk and curb and gutter per plans as shown on attached figures			
	General	47 Clean scuff marks, oil, hydraulic fluid, landscaping staining, and other contaminants off asphalt and concrete surfaces			
	General	48 Provide as-built drawings of approved permit drawings in electronic format			

NO.	DATE	REVISIONS



**NORTHERN ENGINEERING**  
 1100 North 11th Street, Suite 200  
 Fargo, ND 58102  
 (701) 785-1100  
 www.northerneng.com

DATE	BY	CHKD BY	APP'D BY
10/29/24			
11/15/24			
12/10/24			

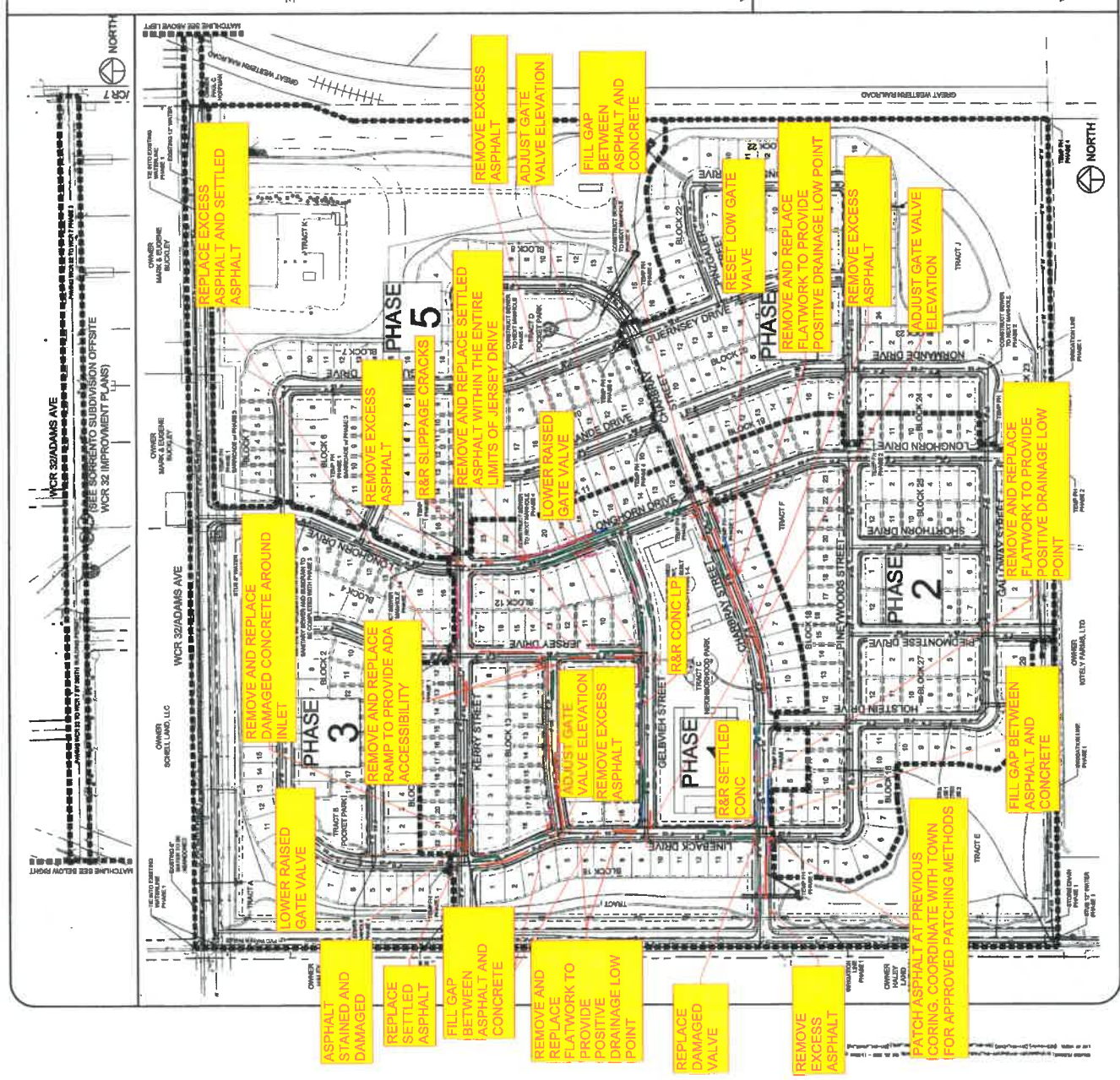
**OVERALL PHASING PLAN**  
 SORRENTO SUBDIVISION

Sheet  
**OPH1**  
 8 of 180

**Sorrento Subdivision  
 Town of Mead  
 Conditional Assessment  
 Punchlist Figure  
 June 8, 2020**

**Conditional Assessment Punchlist**  
**Notes:**  
 1. Coordinate exact limits of removal and replacement with Town of Mead Staff.  
 2. Limits of removal and replacement may expand as construction progresses, and as additional damage is noticed.  
 3. Coordinate repair and replacement timing with Town of Mead Staff.  
 4. Any repair or replacement not approved through the Town of Mead Standards shall be reviewed and approved by Town of Mead Staff in writing.  
 5. Asphalt infrared treatment for asphalt repairs will not be acceptable.

- LEGEND:**
- REMOVE AND REPLACE ASPHALT WHERE SETTLING OCCURRED
  - REPAIR DAMAGED ASPHALT
  - PATCH DAMAGED CONCRETE
  - REMOVE AND REPLACE CONCRETE
  - REMOVE AND REPLACE CONCRETE FOR WARRANTY PURPOSES
  - REMOVE AND REPLACE TRIP HAZARD (CONCRETE)
  - REMOVE AND REPLACE TRIP HAZARD (ASPHALT)



No.	Revisions

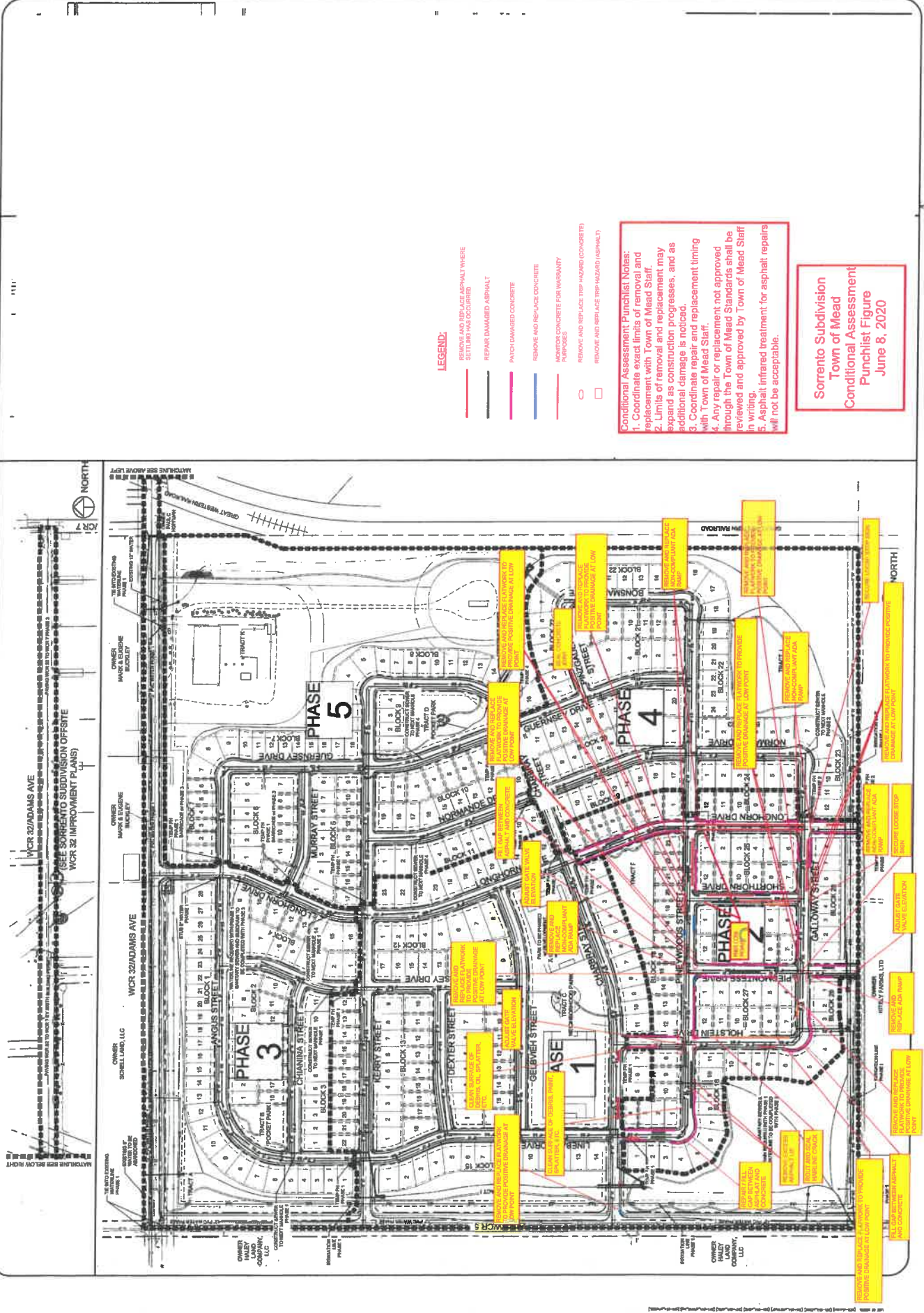


DATE	BY	REVISION
10/29/10	MTT-014	ISSUED FOR PERMITS
12/20/11	MTT-014	PERMITS
08/22/13	MTT-014	ISSUED FOR PERMITS
03/14/16	MTT-014	ISSUED FOR PERMITS

# SORRENTO SUBDIVISION

## OVERALL PHASING PLAN

Sheet  
**OPH1**  
8 OF 80

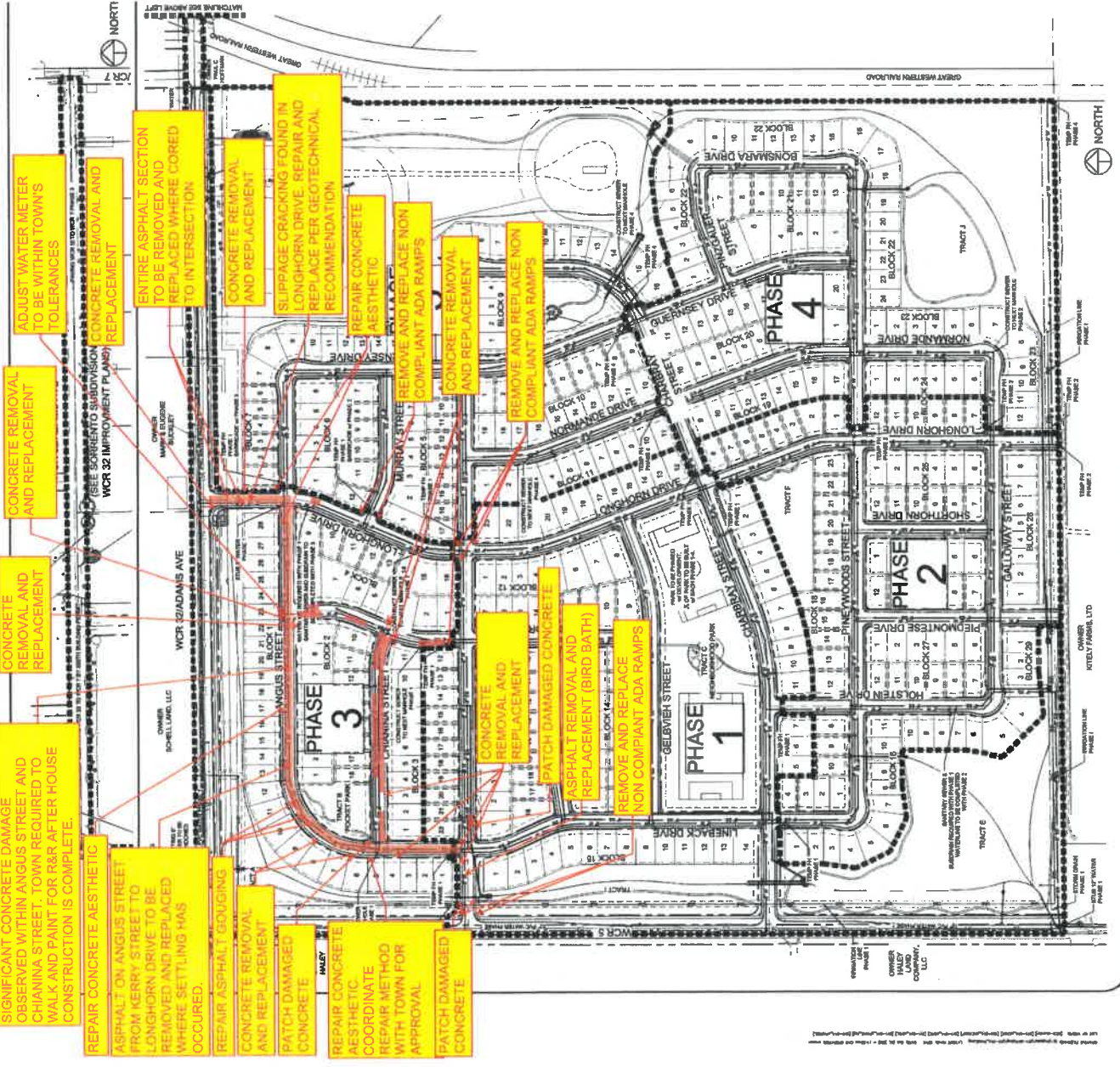




**Sorrento Subdivision**  
 Town of Mead  
 Conditional Assessment  
 Punchlist Figure  
 June 1, 2020

**Conditional Assessment Punchlist**  
 Notes:  
 1. Coordinate exact limits of removal and replacement with Town of Mead Staff.  
 2. Limits of removal and replacement may expand as construction progresses, and as additional damage is noticed.  
 3. Coordinate repair and replacement timing with Town of Mead Staff.  
 4. Any repair or replacement not approved through the Town of Mead Standards shall be reviewed and approved by Town of Mead Staff in writing.  
 5. Asphalt in/around treatment for asphalt repairs will not be acceptable.

- LEGEND:**
- REMOVE AND REPLACE ASPHALT WHERE SETTING HAS OCCURRED
  - DAMAGED ASPHALT
  - PATCH DAMAGED CONCRETE
  - REMOVE AND REPLACE CONCRETE
  - MONITOR CONCRETE FOR WARRANTY PURPOSES
  - REMOVE AND REPLACE TRIP HAZARD (CONCRETE)
  - REMOVE AND REPLACE TRIP HAZARD (ASPHALT)



CONCRETE REMOVAL AND REPLACEMENT

CONCRETE REMOVAL AND REPLACEMENT

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CONCRETE REMOVAL AND REPLACEMENT

THIS PLAN IS THE PROPERTY OF NORTHERN ENGINEERING. IT IS TO BE USED ONLY FOR THE PROJECT AND PHASE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS PLAN WITHOUT THE WRITTEN PERMISSION OF NORTHERN ENGINEERING IS STRICTLY PROHIBITED.

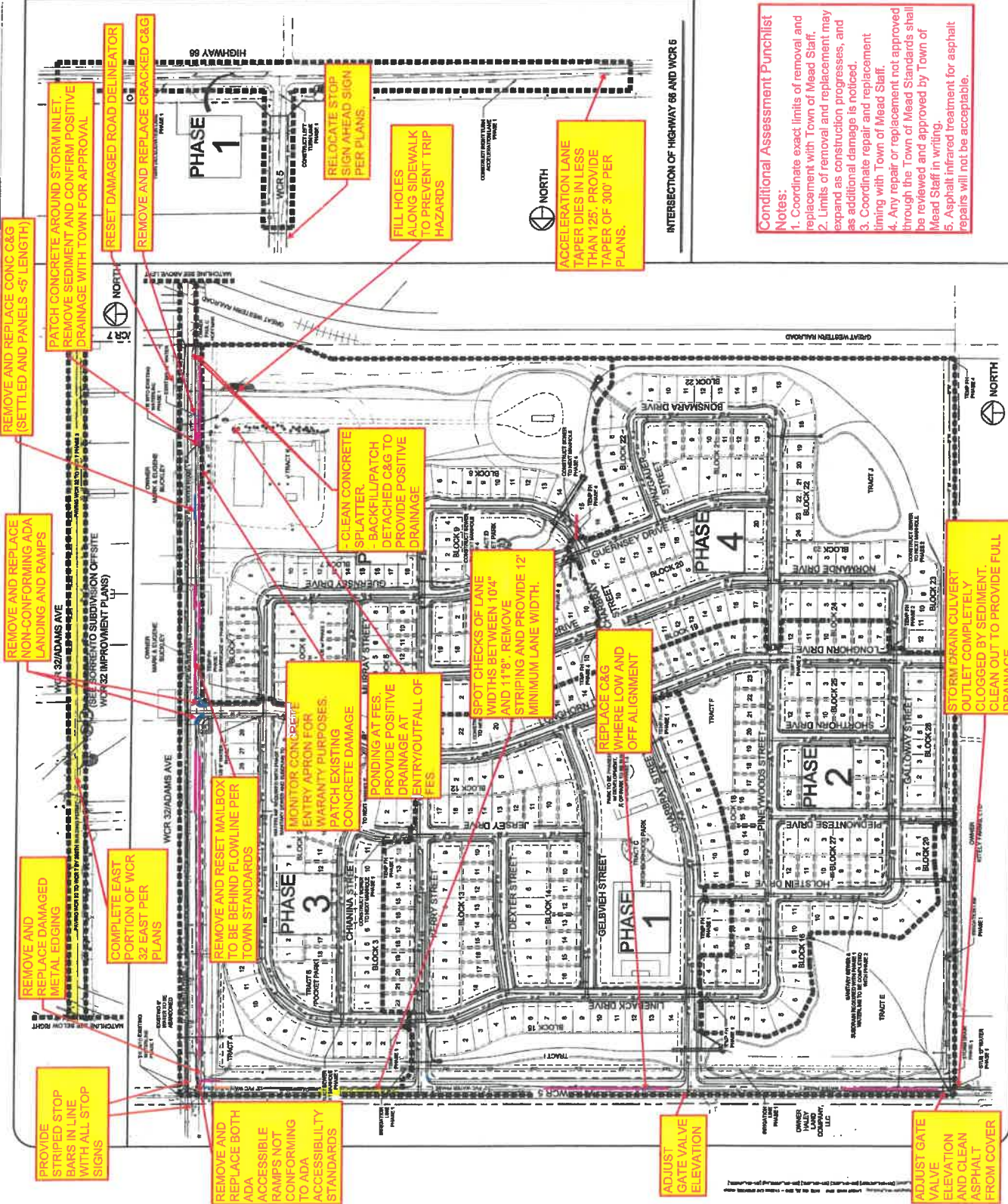


- LEGEND:**
- REMOVAL AND REPLACEMENT WHERE RETURNED TO EXISTENCE
  - DAMAGED ASPHALT
  - PATCH DAMAGED CONCRETE
  - REMOVE AND REPLACE CONCRETE
  - REMOVE AND REPLACE CONCRETE FOR WARRANTY
  - REMOVE AND REPLACE THE HAZARDOUS COMPONENTS
  - REMOVE AND REPLACE THE HAZARDOUS MATERIAL

**Sorrento Subdivision  
 Town of Mead  
 Conditional Assessment  
 Punchlist Figure  
 June 18 & 23, 2020**

**Conditional Assessment Punchlist Notes:**

1. Coordinate exact limits of removal and replacement with Town of Mead Staff.
2. Limits of removal and replacement may expand as construction progresses, and as additional damage is noticed.
3. Coordinate repair and replacement timing with Town of Mead Staff.
4. Any repair or replacement not approved through the Town of Mead Standards shall be reviewed and approved by Town of Mead Staff in writing.
5. Asphalt infrared treatment for asphalt repairs will not be acceptable.



REMOVE AND REPLACE CONC C&G (SETTLED AND PANELS <5' LENGTH)

PATCH CONCRETE AROUND STORM INLET. REMOVE SEDIMENT AND CONFIRM POSITIVE DRAINAGE WITH TOWN FOR APPROVAL

RESET DAMAGED ROAD DELINEATOR  
 REMOVE AND REPLACE CRACKED C&G

PHASE 1

RELOCATE STOP SIGN AHEAD SIGN PER PLANS.

FILL HOLES ALONG SIDEWALK TO PREVENT TRIP HAZARDS

ACCELERATION LANE TAPER DIES IN LESS THAN 125'. PROVIDE TAPER OF 300' PER PLANS.

INTERSECTION OF HIGHWAY 86 AND WCR 6

REMOVE AND REPLACE NON-CONFORMING ADA LANDING AND RAMPS

COMPLETE EAST PORTION OF WCR 32 EAST PER PLANS

REMOVE AND RESET MAILBOX TO BE BEHIND FLOWLINE PER TOWN STANDARDS

MONITOR CONCRETE ENTRY APRON FOR WARRANTY PURPOSES. PATCH EXISTING CONCRETE DAMAGE

CLEAN CONCRETE SPLATTER BACKFILL/PATCH DETACHED C&G TO PROVIDE POSITIVE DRAINAGE

SPOT CHECKS OF LANE WIDTHS BETWEEN 10'4" AND 11'6". REMOVE STRIPING AND PROVIDE 12" MINIMUM LANE WIDTH.

REPLACE C&G WHERE LOW AND OFF ALIGNMENT

STORM DRAIN CULVERT OUTLET COMPLETELY CLOGGED BY SEDIMENT. CLEAN OUT TO PROVIDE FULL DRAINAGE.

REMOVE AND REPLACE DAMAGED METAL EDGING

REMOVE AND RESET MAILBOX TO BE BEHIND FLOWLINE PER TOWN STANDARDS

REMOVE AND REPLACE BOTH ADA ACCESSIBLE RAMPS NOT CONFORMING TO ADA ACCESSIBILITY STANDARDS

MONITOR CONCRETE ENTRY APRON FOR WARRANTY PURPOSES. PATCH EXISTING CONCRETE DAMAGE

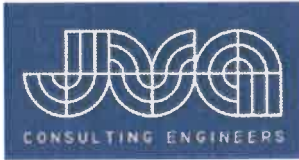
CLEAN CONCRETE SPLATTER BACKFILL/PATCH DETACHED C&G TO PROVIDE POSITIVE DRAINAGE

SPOT CHECKS OF LANE WIDTHS BETWEEN 10'4" AND 11'6". REMOVE STRIPING AND PROVIDE 12" MINIMUM LANE WIDTH.

REPLACE C&G WHERE LOW AND OFF ALIGNMENT

ADJUST GATE VALVE ELEVATION

ADJUST GATE VALVE ELEVATION AND CLEAN ASPHALT FROM COVER



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 Boulder, CO 80302  
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 Fax: 303.444.1957

JVA, Incorporated  
 25 Old Town Square  
 Fort Collins, CO 80524  
 Suite 200  
 Ph: 970.225.9099  
 Fax: 970.225.6923

JVA, Incorporated  
 PO Box 1860  
 79050 US Highway 40  
 Winter Park, CO 80482  
 Ph: 970.722.7677  
 Fax: 970.722.7679

Web site: [www.jvajva.com](http://www.jvajva.com) E-mail: [info@jvajva.com](mailto:info@jvajva.com)

## C o n d i t i o n a l   A c c e p t a n c e O b s e r v a t i o n s

TO:	<u>Town of Mead</u>	DATE:	<u>June 1, 2020</u>
ATTN:	<u>Erika Rasmussen, P.E.</u>	TIME:	<u>8:00AM – 10:30AM</u>
CONTRACTOR:	<u>GLH</u>	WEATHER:	<u>Sunny</u>
PROJECT NAME:	<u>Sorrento Subdivision</u>	TEMP RANGE:	<u>64F – 80F</u>
CITY, STATE:	<u>Mead, Colorado</u>	PROJECT NO:	<u>1970.101c</u>

**Punch Walk Attendees:**

- Town of Mead - Deano Korecky
- JVA, Inc. – Mark G. Rocheleau, Nathan Oaks

On June 1, 2020, JVA performed a walkthrough at the Town of Mead Sorrento Subdivision site to assess the site conditions and confirm action items for conditional assessment for Phase 1-3.

**Observations:**



Image 1 – Damaged rock socks, typical in areas around site.



Image 2 – Gouged asphalt, typical in areas around site.





**Image 3 – Scuffed concrete, typical in areas around site.**



**Image 4 – Rock sock across throat opening does not cover entire opening.**



**Image 5 – Accumulated debris on asphalt surfacing, typical in areas around site.**



**Image 6 – Aesthetic damage to concrete curb & gutter, typical in areas around site.**



**Image 7 – Asphalt settling, and gate valve cover too low observed within Angus Street**



**Image 8 – Damaged asphalt, typical in areas around site.**



**Image 9 – Settling of asphalt around manhole and gate valve cover, stained asphalt, scuff marks, and damaged asphalt within Angus St.**



**Image 10 – Poor concrete finishing workmanship observed, typical in areas around site.**



**Image 11 – Water valve set above finished grade of asphalt surfacing within Angus Street.**



**Image 12 – Asphalt cores, damaged asphalt, and settling asphalt observed within Longhorn Drive from Angus Street to WCR32.**



**Image 13 – Damaged asphalt within Longhorn Drive near the intersection of WCR32**



**Image 14 – Settled asphalt, and asphalt pulling away from curb and gutter at the northwest corner of the Angus Street and Longhorn Drive intersection.**

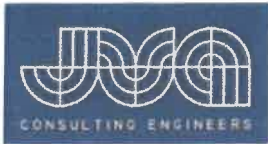


Image 15 – Excess asphalt over concrete surfacing, and dirt/sediment within stormwater infrastructure, typical in areas around site.



Image 16 – Concrete tie-ins have greater than ¼” vertical threshold providing a trip hazard, typical in areas around site.




Image 17 – Settling of asphalt within Jersey Drive.

End of June 1, 2020 Conditional Acceptance Observations

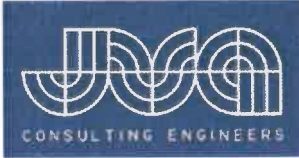
Sincerely,

JVA, INCORPORATED

By:

  
Mark G. Rocheleau, P.E.  
Senior Project Engineer

The foregoing represents our understanding of the items discussed and the conclusions reached. If no corrections are received within five business days, the project will proceed based on this understanding.



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**JVA, Incorporated**  
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 Fax: 970.722.7679

Web site: [www.jvajva.com](http://www.jvajva.com) E-mail: [info@jvajva.com](mailto:info@jvajva.com)

## C o n d i t i o n a l   A c c e p t a n c e O b s e r v a t i o n s

TO:	<u>Town of Mead</u>	DATE:	<u>June 8, 2020</u>
ATTN:	<u>Erika Rasmussen, P.E.</u>	TIME:	<u>7:00AM – 10:15AM</u>
CONTRACTOR:	<u>GLH</u>	WEATHER:	<u>Sunny</u>
PROJECT NAME:	<u>Sorrento Subdivision</u>	TEMP RANGE:	<u>64F – 75F</u>
CITY, STATE:	<u>Mead, Colorado</u>	PROJECT NO:	<u>1970.101c</u>

**Punch Walk Attendees:**

- Town of Mead - Deano Korecky
- JVA, Inc. – Mark G. Rocheleau, Brian D. Phillips

On June 8, 2020, JVA performed a walkthrough at the Town of Mead Sorrento Subdivision Phase 1 site to assess the site conditions and confirm action items for conditional assessment for Phases 1-3.

**Observations:**



Image 1 – Low spot observed trapping sediment at northwest corner of Kerry Street and Longhorn Drive.



Image 2 – Settled SSMH, valve color, and asphalt within Longhorn Drive, and typical in site areas.



**Image 3 – Accumulated debris within curb ramp, typical in areas around site.**



**Image 4 – Wind from previous weekend’s storm event has caused blown debris, and tipped port-o-pottys.**



**Image 5 – Asphalt edge extends to far above adjacent concrete edge, and damage to edge of concrete gutter.**



**Image 6 – Water from adjacent dwelling site is overflowing from Block 12 Lot 8 to right-of-way flatwork along Gelbvieh Street causing staining along concrete.**



**Image 7 – Settled asphalt along gutter, stained asphalt, and damaged concrete observed within Longhorn Drive.**



**Image 8 – Accumulated sediment, and a low spot observed in the concrete pan at the Jersey Drive and Gelbvieh Street intersection.**



Image 9 – Concrete pan along Gelbvieh Street trapping stormwater and depositing sediment.



Image 10 – Previous storm events have caused sediment transport, and accumulated sediment within the concrete pan, and landscape areas west of Lineback Drive.



Image 11 – Paint markings direct contractor to remove excess asphalt and patch chipped concrete. Typical in site areas.




Image 12 – Slippage damage to asphalt observed with Charbray Street. Typical in areas around site, with more instances showing over time.

End of June 8, 2020 Conditional Acceptance Observations

Sincerely,

JVA, INCORPORATED

By:   
 Mark G. Rocheleau, P.E.  
 Senior Project Engineer

The foregoing represents our understanding of the items discussed and the conclusions reached. If no corrections are received within five business days, the project will proceed based on this understanding.



**JVA, Incorporated**  
 1319 Spruce Street  
 Boulder, CO 80302  
 Ph: 303.444.1951  
 Fax: 303.444.1957

**JVA, Incorporated**  
 25 Old Town Square  
 Fort Collins, CO 80524  
 Suite 200  
 Ph: 970.225.9099  
 Fax: 970.225.6923

**JVA, Incorporated**  
 PO Box 1860  
 79050 US Highway 40  
 Winter Park, CO 80482  
 Ph: 970.722.7677  
 Fax: 970.722.7679

Web site: [www.jvajva.com](http://www.jvajva.com) E-mail: [info@jvajva.com](mailto:info@jvajva.com)

## C o n d i t i o n a l   A c c e p t a n c e O b s e r v a t i o n s

TO:	<u>Town of Mead</u>	DATE:	<u>June 9, 2020</u>
ATTN:	<u>Erika Rasmussen, P.E.</u>	TIME:	<u>10:30AM – 12:45PM</u>
CONTRACTOR:	<u>GLH</u>	WEATHER:	<u>Mostly sunny, windy</u>
PROJECT NAME:	<u>Sorrento Subdivision</u>	TEMP RANGE:	<u>60's</u>
CITY, STATE:	<u>Mead, Colorado</u>	PROJECT NO:	<u>1970.101c</u>

**Punch Walk Attendees:**

- Town of Mead - Deano Korecky
- JVA, Inc. – Mark G. Rocheleau, Nathan L. Oaks

On June 9, 2020, JVA performed a walkthrough at the Town of Mead Sorrento Subdivision Phase 2 site to assess the site conditions and confirm action items for conditional assessment for Phase 1-3.

**Observations:**



Image 1 – The southeast curb ramp at the Charbray Street and WCR5 intersection is holding water.



Image 2 – Gaps observed between asphalt and edge of concrete, and aesthetic damage to concrete surfacing. Typical in areas around site.



**Image 3 – Concrete flatwork is ponding water, asphalt placed over concrete, and compressed asphalt is holding sediment/water. Typical in areas around site.**



**Image 4 – Damaged concrete and settled asphalt in vicinity of home construction. Typical in areas around site.**



**Image 5 – Previous patching is cracking at the connection and overlap of asphalt paving.**



**Image 6 – Concrete flatwork and intersection cross pan at intersection of Galloway Street and Shorthorn Drive is ponding water.**



**Image 7 – Slippage cracks. Typical in areas around site.**



**Image 8 – Concrete flatwork has settled, and expanded openings of control joints shown. Typical in areas around site.**



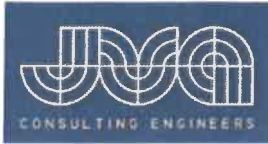


Image 9 – Concrete flatwork and intersection cross pan at intersection of Galloway Street and Piedmontese Drive is ponding water. Concrete gutter along Galloway has settled trapping sediment.




Image 10 – Concrete splatter observed, settlement/compression of asphalt, and evidence of ponding water / settled concrete. Typical in areas around site.

End of June 9, 2020 Conditional Acceptance Observations

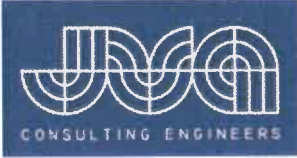
Sincerely,

JVA, INCORPORATED

By:

  
Mark G. Rocheleau, P.E.  
Senior Project Engineer

The foregoing represents our understanding of the items discussed and the conclusions reached. If no corrections are received within five business days, the project will proceed based on this understanding.



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 Fax: 303.444.1957

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## C o n d i t i o n a l   A c c e p t a n c e O b s e r v a t i o n s

TO:	<u>Town of Mead</u>	DATE:	<u>June 18, 2020</u>
ATTN:	<u>Erika Rasmussen, P.E.</u>	TIME:	<u>7:30AM – 11:00AM</u>
CONTRACTOR:	<u>GLH</u>	WEATHER:	<u>Sunny</u>
PROJECT NAME:	<u>Sorrento Subdivision</u>	TEMP RANGE:	<u>60's</u>
CITY, STATE:	<u>Mead, Colorado</u>	PROJECT NO:	<u>1970.101c</u>

**Punch Walk Attendees:**

- Town of Mead - Deano Korecky
- JVA, Inc. – Mark G. Rocheleau, Nathan L. Oaks

On June 18, 2020, JVA performed a walkthrough at the Town of Mead Sorrento Subdivision along WCR 5 and Highway 66 to assess the site conditions and confirm action items for conditional assessment for Phase 1-3.

**Observations:**



Image 1 – Culverts south of Charbray Street along the east portion of WCR 5 is filled with sediment.



Image 2 – Lane widths at the intersection of WCR 5 and Highway 66 do not measure to be 12-foot wide. Measurements range from 10'-8" to 11'-8". Shoulder widths measure greater than 4-foot wide.



**Image 3 – Delineators along Highway 66 not installed, and taper and dashed striping west of WCR 5 does not meet permit documents.**



**Image 4 – Open potholes along WCR 5 pose a trip / fall hazard**



**Image 5 – Stop sign not installed in the location per Permit Documents**



**Image 6 – Lane widths along WCR 5 do not measure to be 12-foot wide. Striping widths do not measure to be 8-inches wide.**



**Image 7 – Damage to installed asphalt along WCR 5.**



**Image 8 – Double striping not connected within WCR 5 at Charbray Street.**



Image 9 – Poor workmanship, and flowline within WCR 5 north of Charbray Street pushes out into traffic.



Image 10 – Lane widths along WCR 5 do not measure to be 12-foot wide. Striping widths do not measure to be 8-inches wide.



Image 11 – Chipped concrete walk along WCR 5



Image 12 – Curb ramp at WCR 5 and Kerry Street has settled causing a trip hazard.



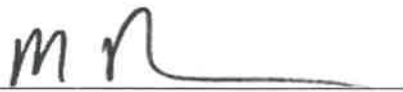
Image 13 – Curb ramp at WCR 5 and Charbray Street does not meet ADA accessibility.



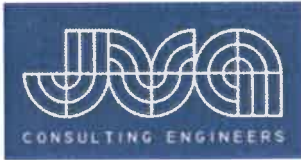
End of June 18, 2020 Conditional Acceptance Observations

Sincerely,

JVA, INCORPORATED

By:   
Mark G. Rocheleau, P.E.  
Senior Project Engineer

The foregoing represents our understanding of the items discussed and the conclusions reached. If no corrections are received within five business days, the project will proceed based on this understanding.



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 Fax: 303.444.1957

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## C o n d i t i o n a l   A c c e p t a n c e O b s e r v a t i o n s

TO:	<u>Town of Mead</u>	DATE:	<u>June 23, 2020</u>
ATTN:	<u>Erika Rasmussen, P.E.</u>	TIME:	<u>7:00AM – 9:00AM</u>
CONTRACTOR:	<u>GLH</u>	WEATHER:	<u>Sunny</u>
PROJECT NAME:	<u>Sorrento Subdivision</u>	TEMP RANGE:	<u>70's</u>
CITY, STATE:	<u>Mead, Colorado</u>	PROJECT NO:	<u>1970.101c</u>

**Punch Walk Attendees:**

- JVA, Inc. – Mark G. Rocheleau, Nathan L. Oaks

On June 23, 2020, JVA performed a walkthrough at the Town of Mead Sorrento Subdivision along WCR 32 to assess the site conditions and confirm action items for conditional assessment for Phase 1-3.

**Observations:**



Image 1 – Landscape area between concrete walk and back of curb does not have positive drainage. Chipped and damaged concrete observed, typical in areas along WCR 32.



Image 2 – For project team consideration, providing reflective trail closure sign could improve trail user safety.



**Image 3 – Excess concrete caked onto to walk surface.**



**Image 4 – Unstabilized soils showing signs of erosion, riprap for FES missing at FES for irrigation ditch.**



**Image 5 – Unstabilized soils showing signs of erosion, riprap for FES missing at FES along north portion of WCR 32.**



**Image 6 – Concrete walk connection from the rip rap spillway to WCR 32 detached walk not completed.**



**Image 7 – Gaps and holes along concrete walk in spillway area pose a trip and injury hazard.**



**Image 8 – Riprap placed above FES invert out is trapping sediment.**



Image 9 – Swale elevations at the end of the riprap protection are set higher than riprap elevations, trapping water.



Image 10 – Riprap not provided at double FES per Town standards.



Image 11 – Concrete ramp with pointed curbs at WCR 5 and WCR 32 intersection to be monitored through warranty period.

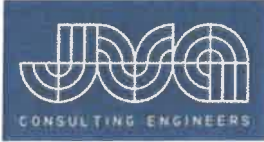


Image 12 – Stop bar along WCR 32 at WCR 5 intersection missing, typical both sides.



Image 13 – Soil materials eroded along concrete pan preventing runoff from reaching pan flowline. Typical in site areas throughout.





End of June 23, 2020 Conditional Acceptance Observations

Sincerely,

JVA, INCORPORATED

By:

Mark G. Rocheleau, P.E.  
Senior Project Engineer

The foregoing represents our understanding of the items discussed and the conclusions reached. If no corrections are received within five business days, the project will proceed based on this understanding.



June 24, 2020

Mr. Greg Hughes, President  
GLH Construction, Inc.  
780 East Garden Drive  
Windsor, CO 80550

RE: Sorrento Punch List – Phases 4-5

On September 10, 2020, Town Staff completed a walk-through of phases 4 and 5 at the Sorrento subdivision to assess the site conditions and confirm completion of infrastructure improvements. Although we consider this phase of the project to be substantially complete, the items listed on the attached spreadsheet and map will require attention prior to Conditional Acceptance of the work.

A list of items to be completed or corrected is attached. Landscape comments will be included under separate cover. The developer shall complete all repairs within 30-days, unless otherwise directed by Town of Mead staff. Once the punch list items have been completed and approved by Town staff, conditional acceptance will be issued. At that time, the project will enter the two-year warranty period. A final inspection will be conducted at the end of the warranty period prior to Final Acceptance of Phases 4 and 5.

Sincerely,

A handwritten signature in black ink that reads "Erika Rasmussen".

Erika Rasmussen, P.E.  
Town Engineer/Public Works Director



**Project Name: Sorrento Subdivision**  
**Contractor: GLH**  
**Inspector: Deano Korecky Jr.**  
**Punchwalk Dates: 9/2, 9/4, 9/8, 9/10**  
**Conditional Acceptance: Phases 4 & 5**

Punch List Items						
No.	Item	Description	Location	Observation Date	Completion Date	Town Sign-Off
1	Concrete ADA Ramps	R&R marked not ADA compliant	Multiple Locations	9/4/2020		
2	Concrete Sidewalk	R&R marked for holding water/settled	Angus Street/Loughorn Drive	9/4/2020		
3	Concrete Curb/Gutter	Clean area where asphalt is overlapping gutter	Multiple Locations	9/4/2020		
4	Seal All Expansion	Modify & seal expansion joints per Town of Mead Standards	Multiple Locations	9/4/2020		
5	Street Signs	Compact around base street sign	Normanville Drive/Elmhurst Street	9/4/2020		
6	Storm Sewer	Clean Storm	Multiple Locations	9/4/2020		
7	House Keeping	Cut Down all weeds	All of Phases 4 & 5	9/4/2020		
8	Concrete	Patch all chipped concrete that was marked	Multiple Locations	9/4/2020		
9	Valves/Manholes	Any valves/manholes out of spec marked, need to be turned down	Multiple Locations	9/4/2020		
10	Asphalt	Asphalt patches (One by manhole/valve and other by R&R concrete) Asphalt stretching around eyebrows	Loughorn Drive/Angus Street	9/4/2020		
11	Street Light	Missing Street light	SE Corner of WCR 32/WCR 5	9/4/2020		
12	Paint/Delineators	Install delineators per plan	WCR 32	9/4/2020		
13	Erosion Control	Repair, clean all erosion control measures	Multiple Locations	9/4/2020		
14	Landscaping	Complete landscape punchlist items that are to be submitted under a separate report	All of Sorrento	9/4/2020		
15	Sanitary Sewer	Saint Vrain sign off		9/4/2020		
16	Water	LTWD sign off		9/4/2020		
17	As-built drawings	Provide as-built drawings (include shots of NE corner of WCR 7/ WCR 32 on the eastside	All of Phases 4 & 5	9/4/2020		
18						
19						
20						
21						
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26						



**Item #1**



**Item #1**



**Item #1**



**Item #1**



Item #1



Item #1



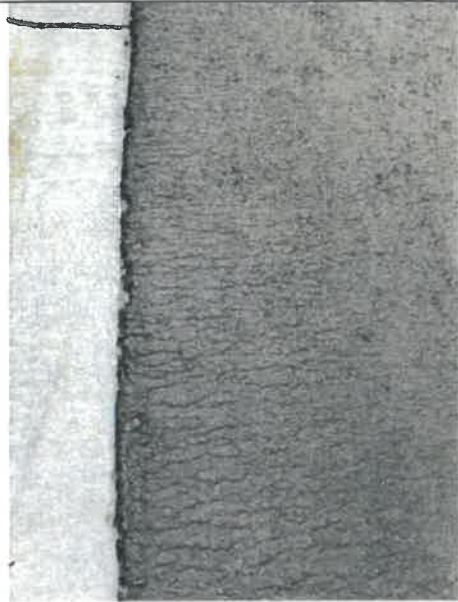
Item #2



Item #2



Item #3



Item #10



Item #10



Item #10





October 23, 2020

Mr. Greg Hughes, President  
GLH Construction, Inc.  
780 East Garden Drive  
Windsor, CO 80550

RE: Sorrento Punch List – Landscaping Phases 1-3

On October 9, 2020, Town Staff completed a landscaping walk-through of phases 1-3 at the Sorrento subdivision to assess the site conditions and confirm completion of the improvements. Although we consider this phase of the project to be substantially complete, the items listed on the attached spreadsheet and map will require attention prior to Conditional Acceptance of the work.

A list of items to be completed or corrected is attached. The developer shall complete all repairs within 30-days, unless otherwise directed by Town of Mead staff. Once the punch list items have been completed and approved by Town staff, conditional acceptance will be issued. At that time, the project will enter the two-year warranty period. A final inspection will be conducted at the end of the warranty period prior to Final Acceptance of Phases 1-3.

Sincerely,

A handwritten signature in black ink that reads "Erika Rasmussen".

Erika Rasmussen, P.E.  
Town Engineer/Public Works Director





Project Name: Sorrento Subdivision  
 Contractor: TNT Landscaping  
 Inspector: Deano Korecky Jr.  
 Punchwalk Dates: October 9th, 2020  
 Conditional Acceptance: Landscaping Phases 1, 2 & 3

Punch List Items						
No.	Item	Description	Location	Observation Date	Completion Date	Town Sign-Off
1	Native Seed	Need to provide letter, seed bare spots	Multiple Locations	10/9/2020		
2	Trees	Some trees need braced (Per Town Standard)	Multiple Locations	10/9/2020		
3	Trash Cans	No trash cans installed	Pocket parks and fields	10/9/2020		
4	Benches	Benches need to be secured and locked down	Multiple Locations	10/9/2020		
5	Swings (Playground)	Swing connection needs a lockbolt	Park	10/9/2020		
6	Mulch (Playground)	Add more mulch where it meets entrance of playground	Park	10/9/2020		
7	Trail	Clean up breeze add more material where its shallow	Multiple Locations	10/9/2020		
8	Edging	Edging too high when meets sidewalk	Multiple Locations	10/9/2020		
9	Clean Up	Weeds, trash	Multiple Locations	10/9/2020		



**Item 1**



**Item 1 & 9**



**Item 1 & 9**



**Item 1 & 9**



**Item 1**



**Item 1 & 9**



**Item 1**



**Item 2**



Item 7 & 9



Item 5



Item 8



Item 9



November 18, 2020

Mr. Greg Hughes, President  
GLH Construction, Inc.  
780 East Garden Drive  
Windsor, CO 80550

RE: Sorrento Punch List – Off Site Improvements

On November 12-16, 2020, Town Staff completed a walk-through of the offsite improvements at the Sorrento subdivision to assess the site conditions and confirm completion of infrastructure improvements. Although we consider this phase of the project to be substantially complete, the items listed on the attached spreadsheet will require attention prior to Conditional Acceptance of the work.

A list of items to be completed or corrected is attached. The developer shall complete all repairs within 30-days, unless otherwise directed by Town of Mead staff. Once the punch list items have been completed and approved by Town staff, conditional acceptance will be issued. At that time, the project will enter the two-year warranty period. A final inspection will be conducted at the end of the warranty period prior to Final Acceptance of the off-site improvements.

Sincerely,

A handwritten signature in black ink that reads "Erika Rasmussen". The signature is fluid and cursive, with a long horizontal stroke at the end.

Erika Rasmussen, P.E.  
Town Engineer/Public Works Director



**Project Name: Sorrento Subdivision**  
**Contractor: GLH**  
**Inspector: Deano Korecky Jr.**  
**Punchwalk Dates: 11/12, 11/13, 11/16**  
**Conditional Acceptance: Off Site WCR 32/WCR 7**

Punch List Items						
No.	Item	Description	Location	Observation Date	Completion Date	Town Sign-Off
1	Railing	Install railing	North side of box culvert on WCR 32	11/12/2020		
2	Certified Cost	Provide certified costs for off-site improvements	General	11/13/2020		
3	As Built	Provide as built drawings	WCR 32/WCR 7	11/13/2020		
4	Delineators	Delineators need to be reinstalled	WCR 32	11/12/2020		
5	Top Lift Asphalt	Install top lift of asphalt (Will do final inspection after completed)	WCR 32	11/12/2020		
6	Final Striping	Paint striping (Will do final inspection after completed)	WCR 32	11/12/2020		
7	Type III Barricade	Type III barricade missing needs to be installed	At the end of the sidewalk southside of WCR 32	11/12/2020		
8	Erosion Control	Repair, clean all erosion per Stormwater Permit requirements	WCR 32	11/12/2020		
9	Seed	Re-seed native seed areas that did not germinate	WCR 32/WCR 7	11/13/2020		
10	Railroad Tracks	Install railroad crossing panels	WCR 32	11/12/2020		
11	Asphalt Aprons	Install two asphalt aprons at driveways	Buckley property & eastside of box culvert WCR 32	11/12/2020		
12	35 MPH Sign	35 MPH sign missing needs to be installed	WCR 32 (East of box culvert going east bound)	11/12/2020		
13	Asphalt	Asphalt is damaged and needs to be patched per Town Standards	WCR 32 (On each end of box culvert)	11/12/2020		
14	3:1 Slope	Shoulder does not meet Town Standards	NE Corner of WCR 7/WCR 32	11/13/2020		
15	Sign	Damaged post needs replaced and reset loose sign	WCR 7 going southbound	11/13/2020		
16	Bollards	Damaged bollard by fire hydrant needs replaced	SE Corner of WCR 7/WCR 32	11/13/2020		
17	Striping	Damaged striping needs to be repainted	WCR 32/WCR 7	11/13/2020		
18	Guardrail	Will check height once toplift of asphalt is installed	WCR 32 at box culvert	11/13/2020		
19	Asphalt Patch	Need to complete asphalt patch around MH and Valve	WCR 32/Longhorn Drive	11/13/2020		
20	Street Light	Street light just installed needs clean up and new sod	SE Corner of WCR 32/WCR 5	11/13/2020		
21	ADA Ramps	ADA ramps not compliant (R&R concrete)	SE Corner of WCR 32/WCR 6 (Both Ramps)	11/13/2020		
22	Concrete Sidewalk	Sidewalk has settled and not ADA compliant (R&R concrete)	SE Corner of WCR 32/Longhorn Drive	11/13/2020		
23	Expansion	Seal expansion joints per Town of Mead standards	WCR 5 (Sidewalk on South side of WCR 5)	11/13/2020		
24	Bump Signs	Add bump signs at pavement change approaching railroad tracks	WCR 32 Railroad tracks	11/13/2020		
25	Housekeeping	Cleanup (culverts full of debris, trash, pick up all locate flags)	WCR 32/WCR 7	11/13/2020		



**Item #1**



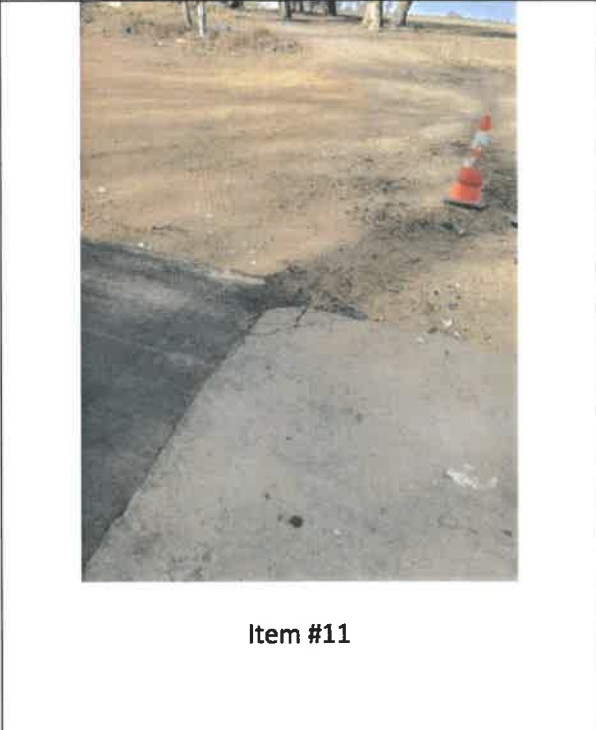
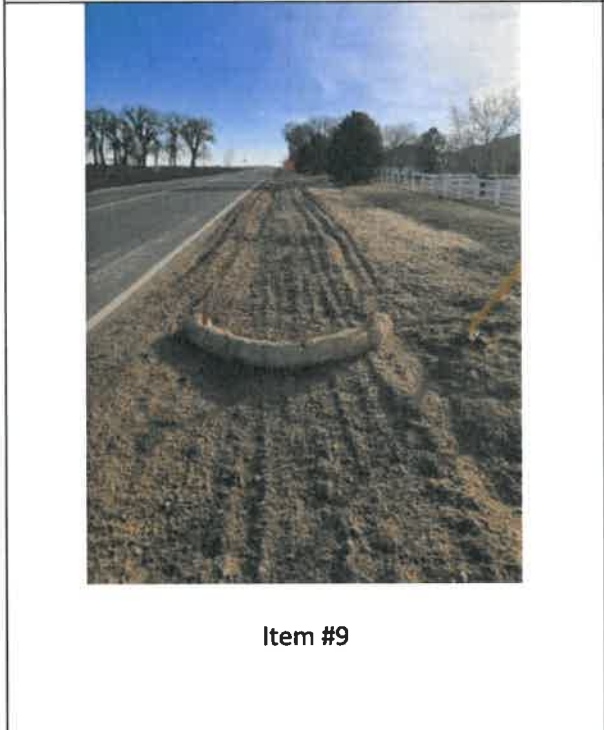
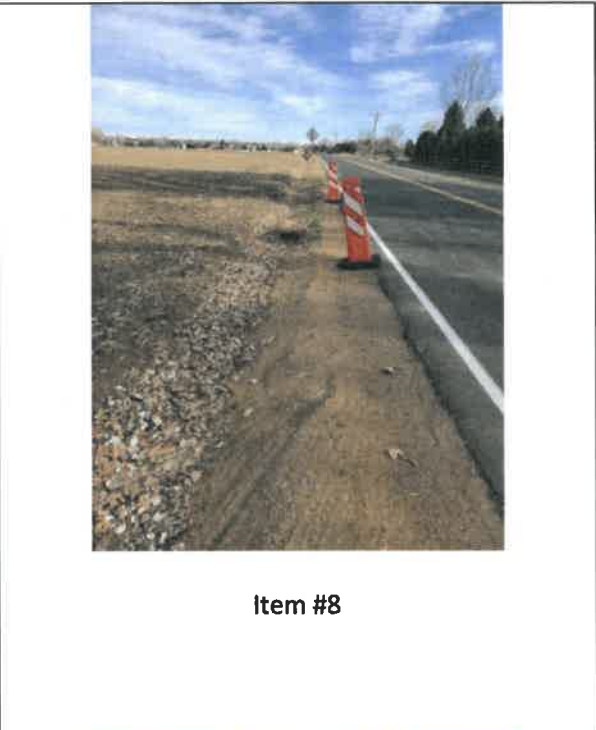
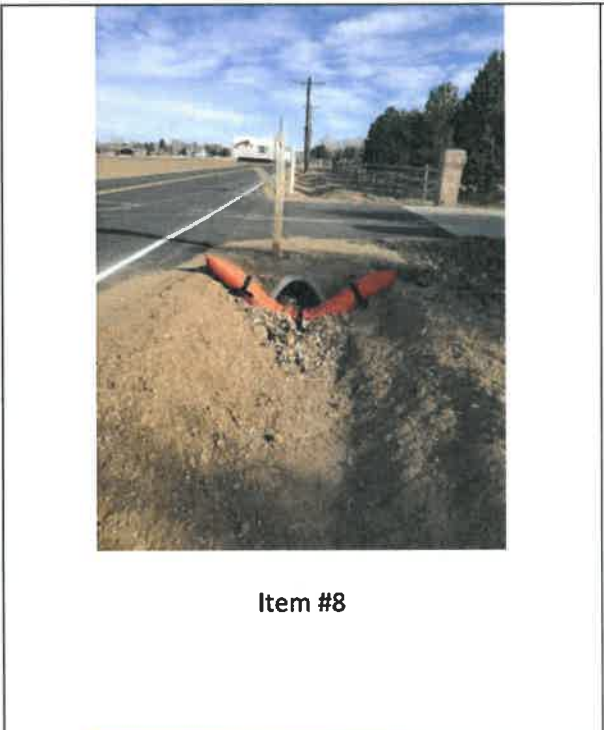
**Item #4**



**Item #7**



**Item #8**







**Item #13**



**Item #13**



**Item #13**



**Item #13**



Item #14



Item #15



Item #15



Item #16



**Item #17**



**Item #17**



**Item #18**



**Item #19**



**Item #20**



**Item #21**



**Item #21**



**Item #22 & #23**



**Item #22 & #23**



**Item #25**



**Item #25**



**Item #25**



December 1, 2020

Mr. Greg Hughes, President  
GLH Construction, Inc.  
780 East Garden Drive  
Windsor, CO 80550

RE: Sorrento Punch List – Landscaping Phases 4-5

On November 30, 2020, Town Staff completed a landscaping walk-through of phases 4-5 at the Sorrento subdivision to assess the site conditions and confirm completion of the improvements. Although we consider this phase of the project to be substantially complete, the items listed on the attached spreadsheet and map will require attention prior to Conditional Acceptance of the work.

A list of items to be completed or corrected is attached. The developer shall complete all repairs within 30-days, unless otherwise directed by Town of Mead staff. Once the punch list items have been completed and approved by Town staff, conditional acceptance will be issued. At that time, the project will enter the two-year warranty period. A final inspection will be conducted at the end of the warranty period prior to Final Acceptance of Phases 4-5.

Sincerely,

A handwritten signature in black ink that reads "Erika Rasmussen".

Erika Rasmussen, P.E.  
Town Engineer/Public Works Director



Project Name: Sorrento Subdivision  
 Contractor: TNT Landscaping  
 Inspector: Deano Korecky Jr.  
 Punchwalk Dates: November 30th, 2020  
 Conditional Acceptance: Landscaping Phases 4 & 5

Punch List Items						
No.	Item	Description	Location	Observation Date	Completion Date	Town Sign-Off
1	Native Seed	50% was seeded will see if germanates/other 50% not complete	Multiple Locations	11/30/2020		
2	Playground Equipment	Some playground equipment missing (railings) tighten loose bolts	Playground	11/30/2020		
3	Trash Cans	No trash cans were installed	Pocket park by Playground	11/30/2020		
4	Benches	No benches were installed	Pocket park by Playground	11/30/2020		
5	Open Trenches	Fill in all open trenches	Multiple Locations	11/30/2020		
6	Trail	Clean up breeze, complete the breeze trail, add more where shallow	Multiple Locations	11/30/2020		
7	Sod	Was just installed will monitor through warranty period	Multiple Locations	11/30/2020		
8	Trees	Trees were just installed will monitor through warranty period	Multiple Locations	11/30/2020		
9	Erosion Control	Repair, clean all erosion per Stormwater Permit requirements	Multiple Locations	11/30/2020		
10	Stockpiles	Clean up all stockpiles	Multiple Locations	11/30/2020		
11	Clean Up	Weeds, trash, stockpiles	Multiple Locations	11/30/2020		



Item 2



Item 2



Item 2



Item 2





Items 3 & 4



Item 5



Item 5



Item 5



Item 6



Item 6



Item 7



Item 9



**Items 10 & 11**



**Item 10 & 11**



**Item 10 & 11**



**Item 10 & 11**

