

**TOWN OF MEAD, COLORADO
ORDINANCE NO. 986**

**AN ORDINANCE OF THE TOWN OF MEAD, COLORADO,
CONDITIONALLY APPROVING THE
PROJECT FROGGER SITE PLAN**

WHEREAS, the Town of Mead is authorized pursuant to Title 31, Article 23, C.R.S. and the Town of Mead Land Use Code to regulate development of land; and

WHEREAS, Dean Brown, with BREG Industrial Development, LLC, a Colorado limited liability company (the “Applicant”), has submitted an application for a site plan designated as the Project Frogger Site Plan (the “Site Plan”), for LOT 2, BLOCK 1, TRACT A AND TRACT B, POSTLE SUBDIVISION FILING NO. 1 FINAL PLAT, TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO (the “Property”); and

WHEREAS, the Property is generally located on the southeast corner of Interstate-25 (I-25) and Weld County Road 36 (WCR 36); and

WHEREAS, the Applicant is the authorized representative of the current Property owners of record: Mead Investors 1, LLC, a Colorado limited liability company and Mead Industrial Development, LLC, a Colorado limited liability company (the “Owners”); and

WHEREAS, the Site Plan proposes the construction of an approximate 386,000 s.f. warehouse and distribution facility on LOT 2, BLOCK 1, POSTLE SUBDIVISION FILING NO. 1 FINAL PLAT together with a Great Western Railroad spur serving the Property, and certain off-site public improvements, including, but not limited to roadway improvements, water and sewer line extensions, landscaping, drainage and other improvements as shown in the Site Plan, Final Plat, Phasing Plan and the final construction and engineering plans and drawings associated therewith (collectively, the “Off-Site Public Improvements”); and

WHEREAS, Section 16-4-100(b)(10) of the *Mead Municipal Code* (“MMC”) authorizes Town Staff to require that the Applicant/Owners execute a site plan agreement to assure the construction of on-site and off-site improvements as a condition of approval of the Site Plan; and

WHEREAS, the Off-Site Public Improvements associated with the Site Plan are identified in that certain Subdivision Improvement Agreement for Postle Subdivision Filing No. 1 Final Plat (the “Filing No. 1 SIA”); and

WHEREAS, the Filing No. 1 SIA will also identify the required on-site public improvements associated with the Property (the “On-Site Improvements”); and

WHEREAS, in accordance with Section 16-4-100(b)(8) of the MMC (Code), Town Staff has conditionally approved the Site Plan; and

WHEREAS, Section 16-4-100(b)(9) of the MMC requires that the final Site Plan be presented to the Board of Trustees for its adoption by ordinance; and

WHEREAS, the Town Board of Trustees has reviewed the Site Plan and Town Staff's conditional approval of the Site Plan and has determined that the Site Plan satisfies the site plan review criteria set forth in the MMC; and

WHEREAS, the administrative record for this case includes, but is not limited to, the MMC, the Town of Mead Comprehensive Plan, all other applicable ordinances, resolutions and regulations, the staff report/agenda item summary presented to the Board of Trustees, the site plan application and all other submittals of the Applicant and Owners, the Site Plan, and the recording and minutes of the Board of Trustees meeting at which the Site Plan was considered; and

WHEREAS, the Town Board of Trustees desires to conditionally approve the Site Plan.

NOW THEREFORE, BE IT ORDAINED by the Board of Trustees of the Town of Mead, Weld County, Colorado, that:

Section 1. Recitals incorporated. The foregoing recitals are incorporated herein as findings of the Board of Trustees.

Section 2. Site Plan Approval. The Site Plan is approved subject to the following conditions:

- a. The Applicant/Owners will submit all post-approval documents required by Section 16-4-100 of the MMC prior to the issuance of a building permit; and
- b. The Applicant/Owners shall resolve and correct any technical issues as directed by Town Staff prior to signature of Town officials on the Site Plan; and
- c. The Applicant/Owners shall modify the Filing No. 1 SIA as directed by Town Staff to specifically identify and assure the completion of the On-Site Improvements, prior to signature of Town officials on the Site Plan. The Filing No. 1 SIA will collateralize the On-Site Improvements in the amount of one hundred fifteen percent (115%) of the estimated cost of the On-Site Improvements, and be secured by an irrevocable drawdown letter of credit in form acceptable to Town Staff and the Town Attorney; and
- d. The Applicant/Owners shall pay all fees and cost incurred by the Town and its consultants in reviewing and processing the Site Plan application; and
- e. The Applicant/Owners shall execute the Filing No. 1 SIA in a form approved by the Town Attorney prior to recordation of the Site Plan; and
- f. All On-Site Improvements and Off-Site Public Improvements will be constructed in accordance with applicable Town standards and in accordance with the terms and conditions of the Filing No. 1 SIA.

Section 3. Following the satisfaction of the conditions set forth in Section 2 of this Ordinance, the Mayor shall be authorized to sign the Site Plan on behalf of the Town, and the Town Clerk may proceed to attest the signature of the Mayor on the Site Plan.

Section 4. Effective Date. This ordinance shall be published and become effective as provided by law.

Section 5. Severability. If any part, section, subsection, sentence, clause or phrase of this ordinance is for any reason held to be invalid, such invalidity shall not affect the validity of the remaining sections of the Ordinance. The Board of Trustees hereby declares that it would have passed the ordinance including each part, section, subsection, sentence, clause or phrase thereof, irrespective of the fact that one or more part, section, subsection, sentence, clause or phrase is declared invalid.

Section 6. Repealer. All ordinances or resolutions, or parts thereof, in conflict with this ordinance are hereby repealed, provided that such repealer shall not repeal the repealer clauses of such ordinance nor revive any ordinance thereby.

Section 7. Certification. The Town Clerk shall certify to the passage of this ordinance and make not less than one copy of the adopted Code available for inspection by the public during regular business hours.

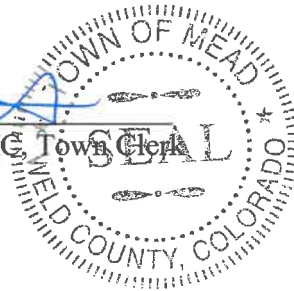
INTRODUCED, READ, PASSED, AND ADOPTED THIS 31st DAY OF JANUARY, 2022.

ATTEST:

TOWN OF MEAD:

By: _____

Mary E. Struff, MMC, Town Clerk



By: _____

Colleen G. Whitlow, Mayor

PROJECT FROGGER SITE PLAN COVER SHEET

LOT 2, POSTLE SUBDIVISION FILING NO. 1
TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO.

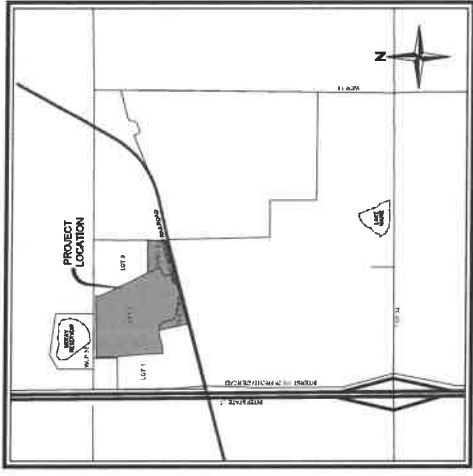
PROJECT TEAM

DEVELOPER
BRES INCENTRAL DEVELOPMENT LLC
2705 HOWARD SMITH AVENUE
DENVER, CO 80202
CONTACT: DEAN BROWN

CIVIL ENGINEER
REDLAND
1800 W. CANAL CT.
LITTLETON, CO 80120
CONTACT: MARK GERVILL, P.E.

LANDSCAPE ARCHITECT
REDLAND
1636 W. CANAL CT.
LITTLETON, CO 80120
CONTACT: MARK GERVILL, P.E.

ARCHITECT
WICKSBERG ASSOCIATES, PLLC
7777 ACCESSORY ROAD SE, SUITE 1406
ATLANTA, GA 30339
CONTACT: ADAM RITTO ROSARIO



VICINITY MAP
SCALE: 1" = 100'

SUBDIVISION CERTIFICATE
I, MARK G. GERVILL, A PROFESSIONAL ENGINEER IN THE STATE OF COLORADO HEREBY CERTIFY THAT THE SITE PLAN SHOWN HEREON IS A CORRECT DELINEATION OF THE ABOVE DESCRIBED PARCEL OF LAND.
BY: _____ SEAL: _____
DATE: _____

ENGINEERING CERTIFICATE
I, MARK G. GERVILL, A PROFESSIONAL ENGINEER IN THE STATE OF COLORADO HEREBY CERTIFY THAT THE SITE PLAN SHOWN HEREON IS A CORRECT DELINEATION OF THE ABOVE DESCRIBED PARCEL OF LAND.
BY: _____ SEAL: _____
DATE: _____

TOWN ENGINEER CERTIFICATE
THE SITE PLAN SHOWN HEREON HAS BEEN REVIEWED BY THE TOWN ENGINEER AND APPROVED AS TO FORM THIS ____ DAY OF _____, 20__.

CERTIFICATE OF FINAL FILE REVIEW AND APPROVAL
THE SITE PLAN SHOWN HEREON HAS BEEN REVIEWED AND APPROVED BY THE TOWN OF MEAD TO FORM THIS ____ DAY OF _____, 20__.

TOWN ENGINEER
TOWN MANAGER

CERTIFICATE OF OWNERSHIP

THE UNDERSIGNED IS THE OWNER OF CERTAIN LANDS IN MEAD, COLORADO, DESCRIBED AS FOLLOWS:
LOT 2, BLOCK 1 OF POSTLE SUBDIVISION FILING NO. 1
AND DOES HEREBY LAY OUT AND DETAIL IN THIS SITE PLAN OF THE ABOVE DESCRIBED LAND UNDER THE NAME AND STYLE OF PROJECT FROGGER, AND PARTIES APPROXIMATES THAT, ALL CONDITIONS, TERMS AND AGREEMENTS OF THE TOWN OF MEAD, COLORADO, ARE IN FULL COMPLIANCE WITH THE TERMS, CONDITIONS AND AGREEMENTS OF THE OWNER, AND IN THE OPINION OF THE UNDERSIGNED, THE UNDERSIGNED IS THE OWNER OF THE ABOVE DESCRIBED LANDS. THE UNDERSIGNED INDICATES THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED, OR CORPORATE ENTITY, AS APPLICABLE, HAS DESCRIBED SITE IN AN AFFIDAVIT TO THE AGENT, MORE OR LESS, TOGETHER WITH AND SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY EXISTING AND/OR OF PUBLIC RECORD.
IN WITNESS WHEREOF, I HAVE HERETO SET MY HAND AND SEAL THIS ____ DAY OF _____, 20__.

MEAD INTERESTS LLC
BY: _____
NAME: _____
TITLE: _____
COUNTY OF COLORADO)
STATE OF COLORADO)
THE FOREGOING CERTIFICATE OF OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 20__, BY _____ AS _____ OF _____.

WITNESS MY HAND AND SEAL.
NOTARY PUBLIC
BY COMMISSION EXPIRES: _____

Sheet Number	Sheet Title
C3.0	OVERALL SITE PLAN
C4.0	DETAILED GRADING PLAN
C4.1	DETAILED GRADING PLAN
C4.2	DETAILED GRADING PLAN
C4.3	DETAILED GRADING PLAN
C4.4	DETAILED GRADING PLAN
C4.5	DETAILED GRADING PLAN
C4.6	DETAILED GRADING PLAN
C4.7	DETAILED GRADING PLAN
C4.8	DETAILED GRADING PLAN
C4.9	DETAILED GRADING PLAN
C4.10	DETAILED GRADING PLAN
C4.11	DETAILED GRADING PLAN
C4.12	DETAILED GRADING PLAN
C4.13	DETAILED GRADING PLAN
C4.14	DETAILED GRADING PLAN
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C4.99	DETAILED GRADING PLAN
C4.100	DETAILED GRADING PLAN

CERTIFICATE OF APPROVAL BY THE BOARD OF TRUSTEES
THIS SITE PLAN SHOWN HEREON HAS BEEN REVIEWED AND ACCEPTED BY ORDINANCE NO. _____ PASSED AND ADOPTED BY THE BOARD OF TRUSTEES OF THE TOWN OF MEAD, COLORADO, ON _____, 20__.

MAYOR
TOWN CLERK

PROJECT FROGGER LOT 2, POSTLE SUBDIVISION FILING NO. 1 COVER SHEET

C1.0



DATE	BY	DESCRIPTION
11/17/2021	1	PREPARED FOR TOWN
11/18/2021	2	FOR APPROVAL TO TOWN
	3	FOR APPROVAL TO TOWN

DATE: _____
BY: _____

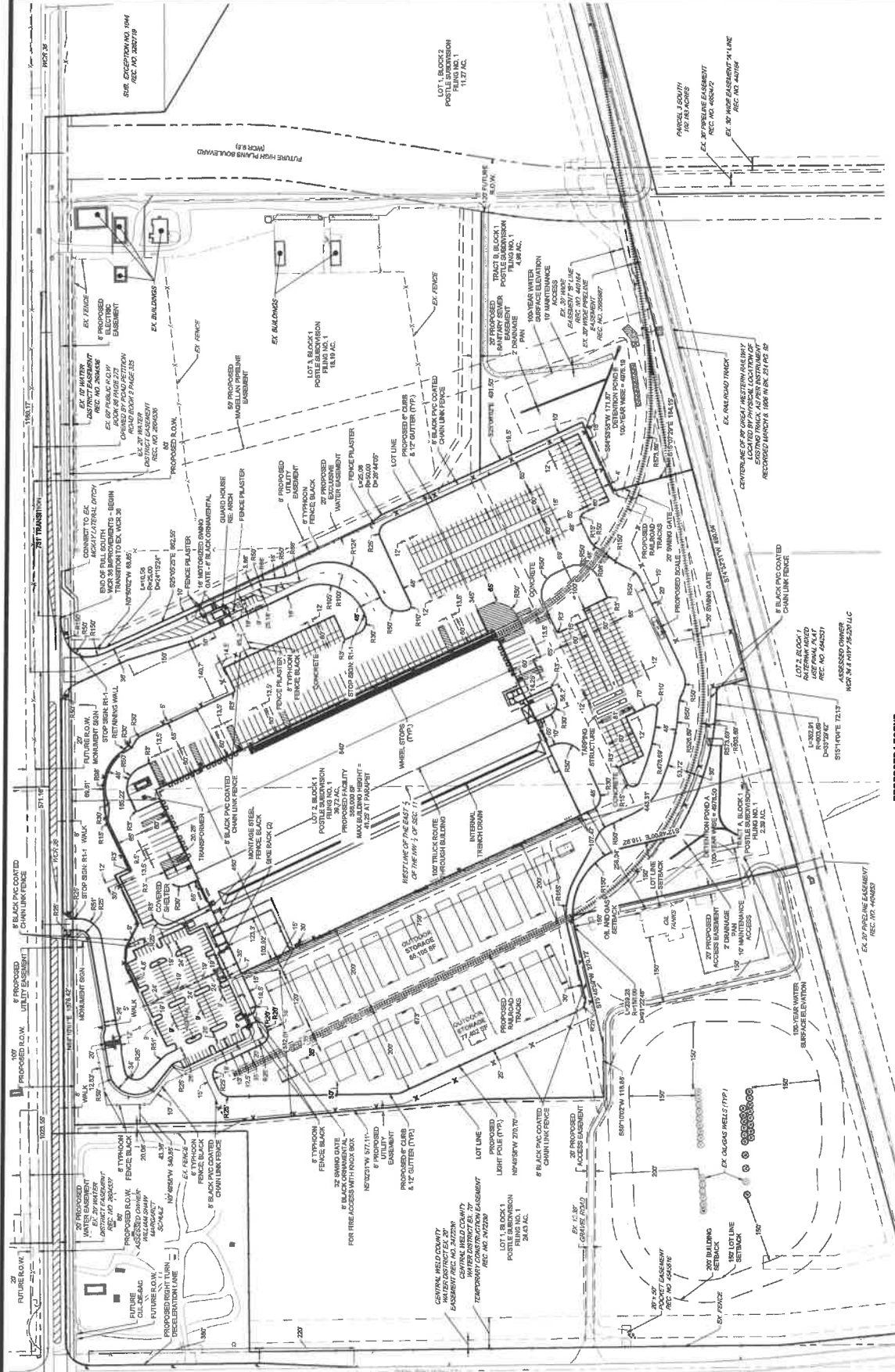
OVERALL SITE PLAN

PROJECT PROGRESS
 LOT 2, POSTLE SUBDIVISION FILING NO. 1

C3.0



SCALE: 1" = 100'



SITE DATA

USE: OUTDOOR OPERATIONS & STORAGE	AC	47.09
WHARFHOUSE & FREIGHT MOVEMENT	SF	181,597
ACTIVITIES: OUTDOOR STORAGE OR LOADING	SP	398,000
BUILDING AREA	SP	10
DRIVEWAY SPACES	SP	10
CAR SPACES	SP	146
TRUCK SPACES	SP	146
STANDARD SPACES	SP	8
BOX CAR SPACES	SP	8

NOTE: 1. SEE SHEET C3.1 FOR FENCE DETAILS.

PROPOSED LEGEND

PROPERTY LINE	---
RO/W	---
LOT LINE	---
TYPHOON FENCE	---
CHAIN LINK FENCE	---
SETBACK	---
ESSENTIAL	---
EDGE OF PAVEMENT	---
CURB AND GUTTER	---
FENCE	---
RETAINING WALL	---
LANDSCAPE	---

EXISTING LEGEND

PROPERTY LINE	---
RO/W	---
LOT LINE	---
ESSENTIAL	---
EDGE OF PAVEMENT	---
CURB AND GUTTER	---
FENCE	---
RETAINING WALL	---
LANDSCAPE	---

REVISIONS

DATE	NO.	DESCRIPTION
07.29.20	1	APPROVED FOR TOWN
08.14.20	2	2ND SUBMITTAL TO TOWN
12.17.20	3	3RD SUBMITTAL TO TOWN
		APPROVED FOR
		REVISIONS
		DESIGNED BY
		CHECKED BY
		APPROVED BY
		SCALE
		DATE

C4.1

DETAILED GRADING PLAN

LOT 2, POSTLE SUBDIVISION FILING NO. 1
PROJECT PROGRESS

12.17.2021	1	PREPARED BY
11.18.2021	2	REVISIONS TO TOWN
12.17.2021	3	REVISIONS TO TOWN

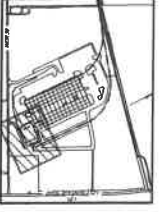
CHANG	GR	CHECKED BY
2020	GR	PROJECT NO.
1.25	GR	MOORE SCALES
1/4"	GR	VERTICAL SCALE



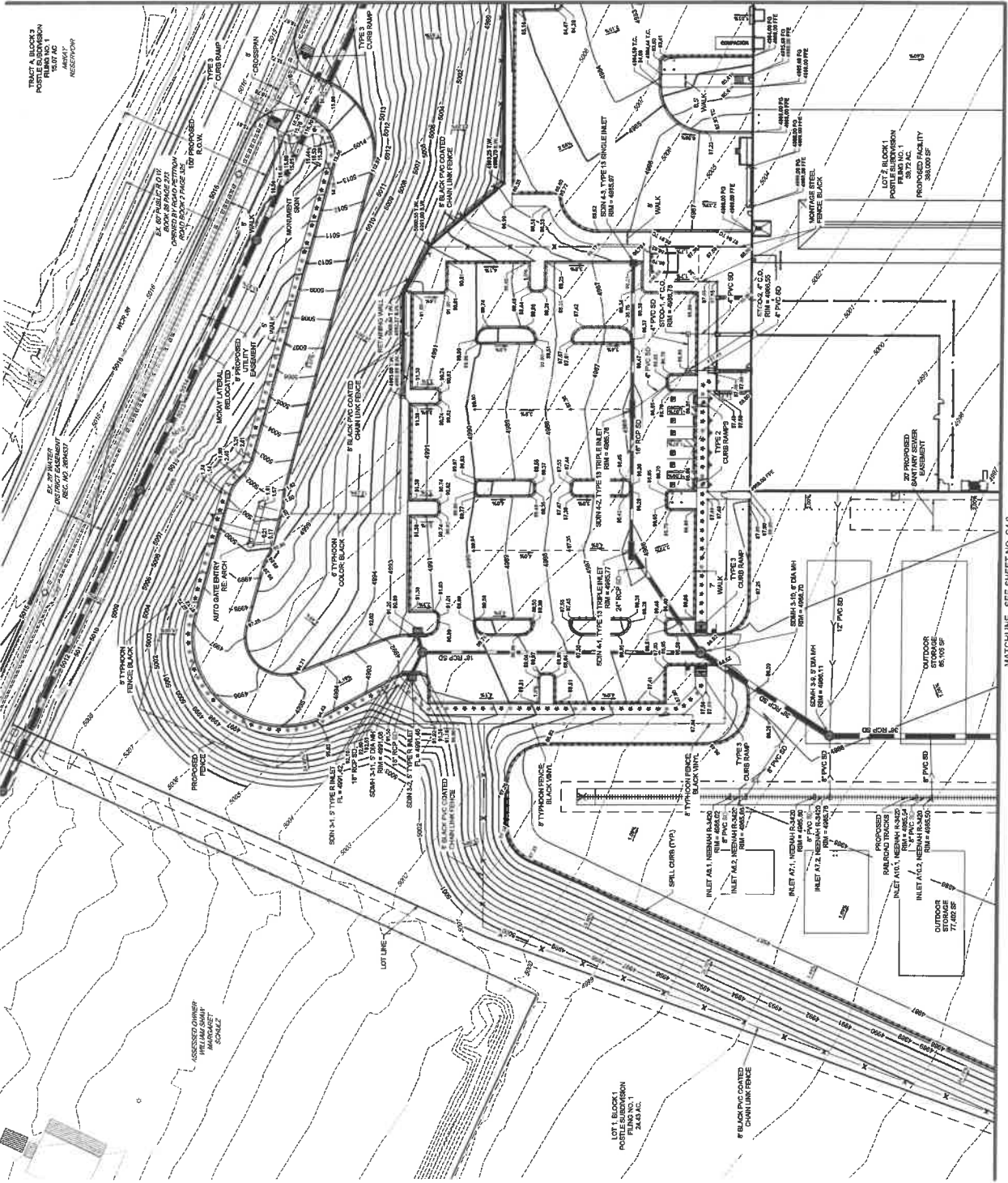
WHERE GREAT PLACES BEGIN
REDLAND.COM



SCALE: 1" = 30'



NOTE:
1. ALL STORM IMPROVEMENTS ARE PRIVATE UNLESS OTHERWISE NOTED.



MATCHLINE - SEE SHEET NO. C4.2

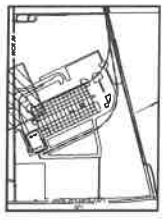
MATCHLINE - SEE SHEET NO. C4.3

DATE	BY	DESCRIPTION
07/11/2021	J. P. BULLOCK	INITIAL PLAN
07/11/2021	J. P. BULLOCK	REVISIONS
07/11/2021	J. P. BULLOCK	REVISIONS

OWNER	POSTLE SUBDIVISION
PROJECT NO.	POSTLE SUBDIVISION
APPROVED BY	[Signature]
CHECKED BY	[Signature]
DRAWN BY	[Signature]
SHEET NO.	3 OF 4
SHEET TITLE	PROPOSED GRADING PLAN

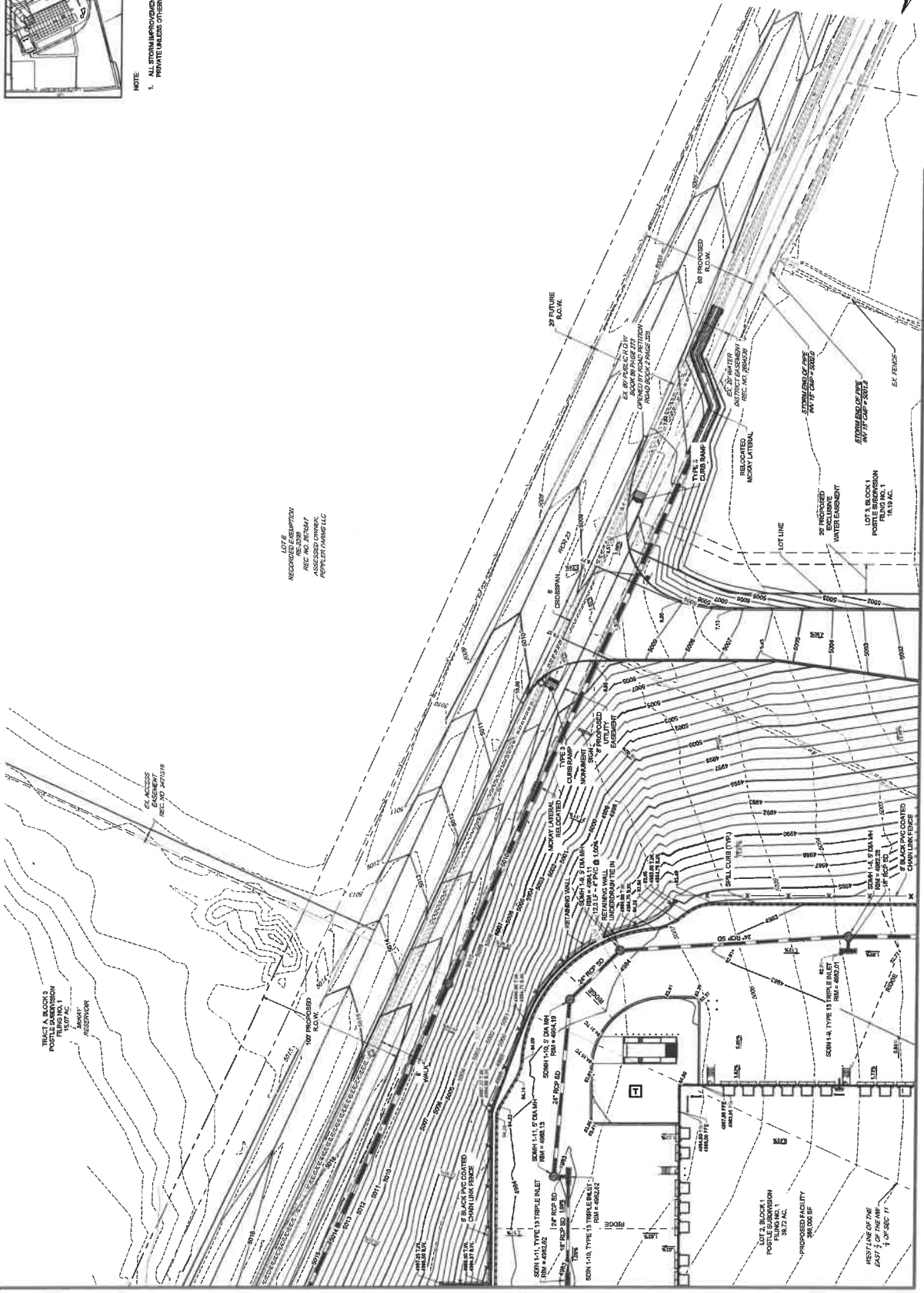
PROJECT PROGREER
LOT 2, POSTLE SUBDIVISION FILING NO. 1
DETAILED GRADING PLAN

C4.2
SCALE: 1" = 30'



NOTE:
1. ALL STORM REQUIREMENTS ARE PRIVATE UNLESS OTHERWISE NOTED.

LOTS:
RECORDED DESCRIPTION
REC. NO. & DATE
OWNER
ADDRESS



MATCHLINE - SEE SHEET NO. C4.4

MATCHLINE - SEE SHEET NO. C4.1

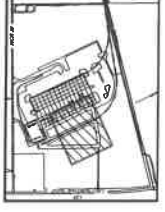
PROJECT FROGGER
LOT 2, POSTLE SUBDIVISION FILING NO. 1
DETAILED GRADING PLAN

DATE	12/17/2019	1. SUBMITTAL TO TOWN
DATE	10/15/2019	2. SUBMITTAL TO TOWN
DATE	09/10/2019	3. PRELIMINARY DESIGN

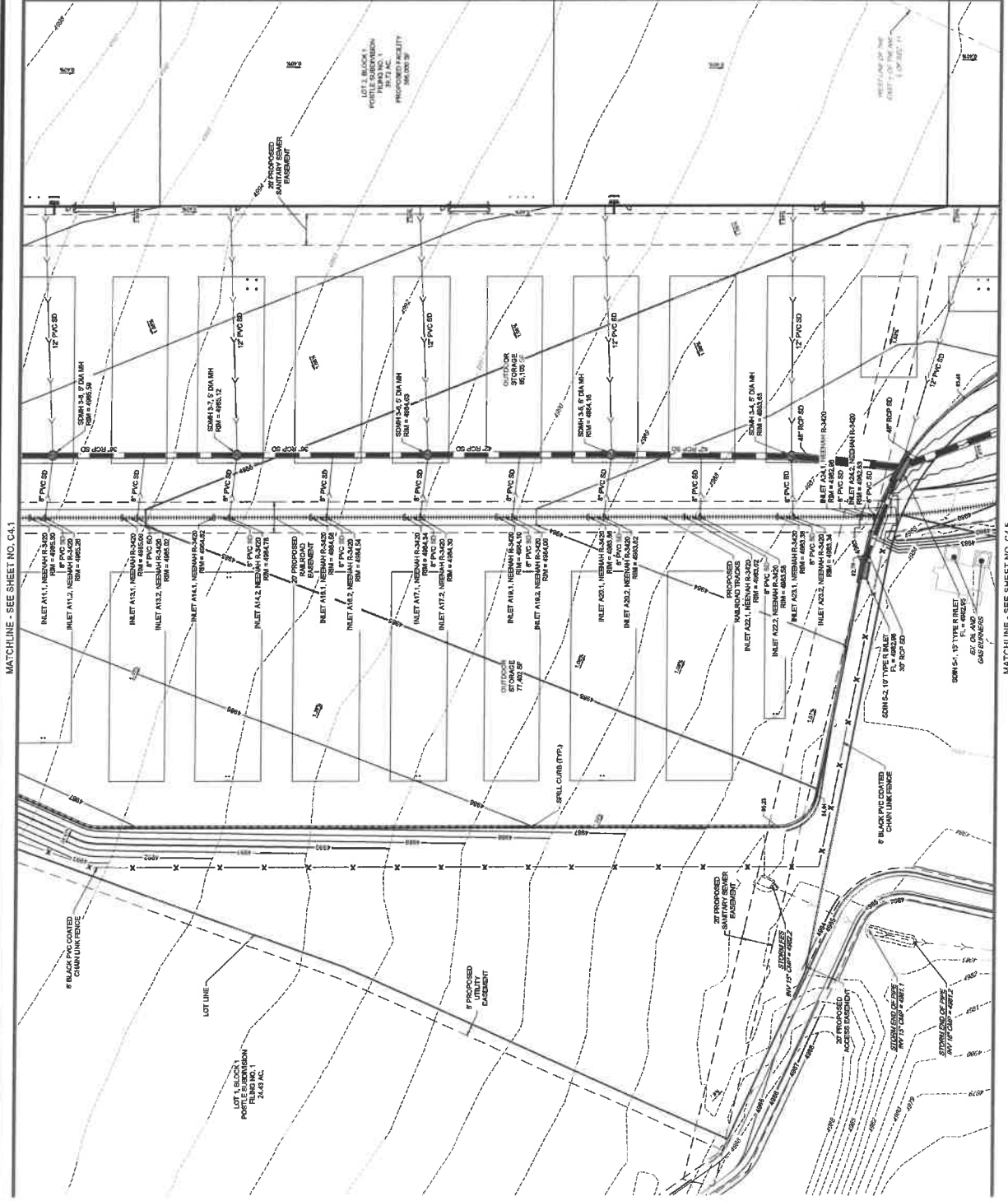
CREATED BY	MM
CHECKED BY	MM
APPROVED BY	MM
PROJECT NO.	2019
DATE	12/17/2019
SCALE	1" = 40'



NOTE
ALL STORM IMPROVEMENTS ARE PRIVATE UNLESS OTHERWISE NOTED.



MATCHLINE - SEE SHEET NO. C4.4



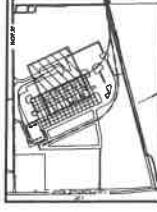
MATCHLINE - SEE SHEET NO. C4.1

MATCHLINE - SEE SHEET NO. C4.5



REDLAND.COM
 2000 Littleton, Colorado 80120
 (303) 550-2000
 WWW.GREATPLACESBEGIN

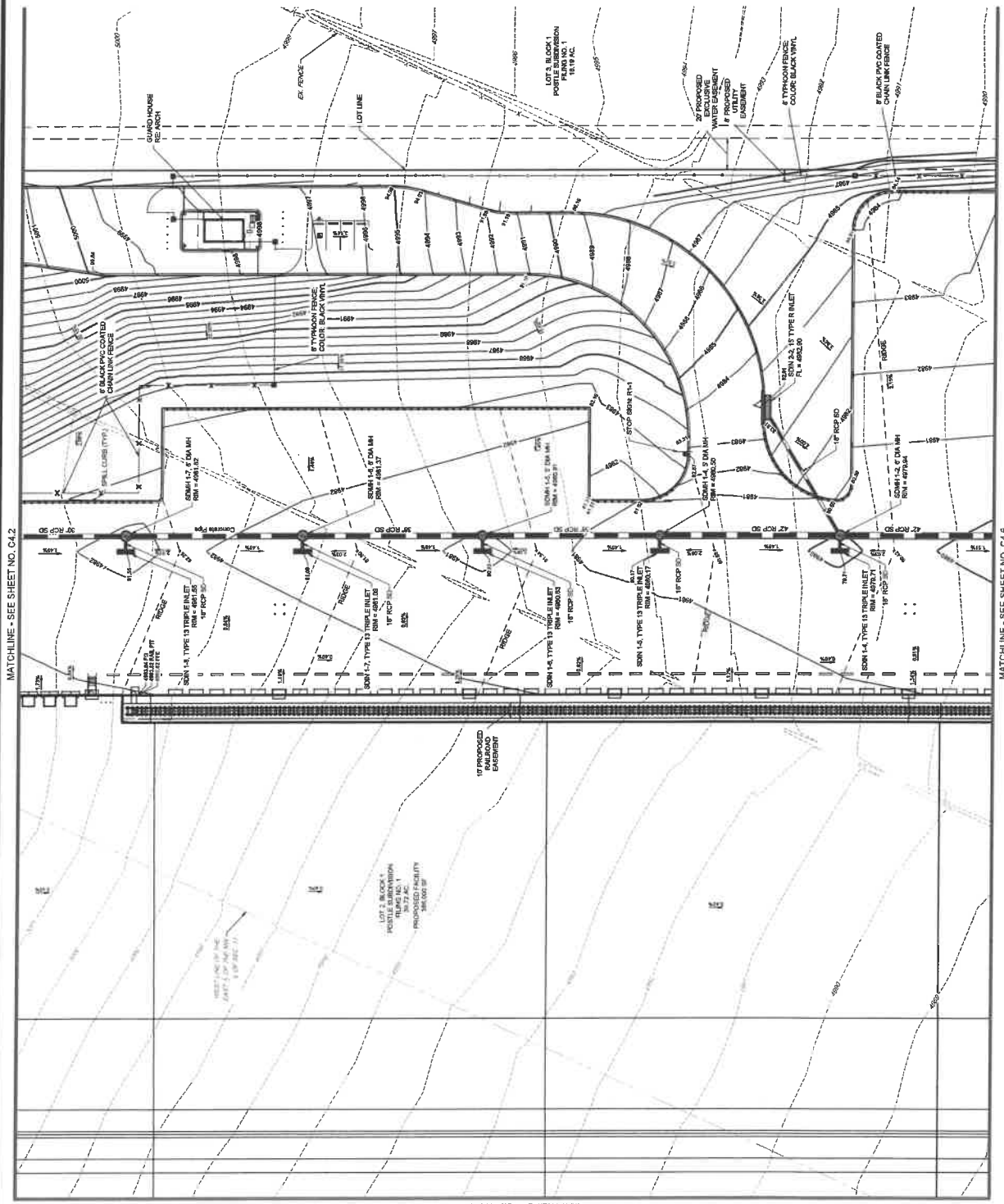
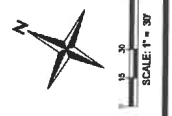
NOTE:
 1. ALL STORM IMPROVEMENTS ARE PRIVATE UNLESS OTHERWISE NOTED.



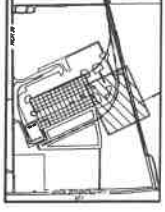
DATE:	11/17/2011
DRAWN BY:	ASD
CHECKED BY:	ASD
APPROVED BY:	ASD
PROJECT NO.:	2008
DATE:	10/20/11
PROJECT NO.:	2008
DATE:	10/20/11
PROJECT NO.:	2008
DATE:	10/20/11
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DATE:	10/20/11
PROJECT NO.:	2008

DETAILED GRADING PLAN
 LOT 2, POSTLE SUBDIVISION FILING NO. 1
PROJECT FROGGER

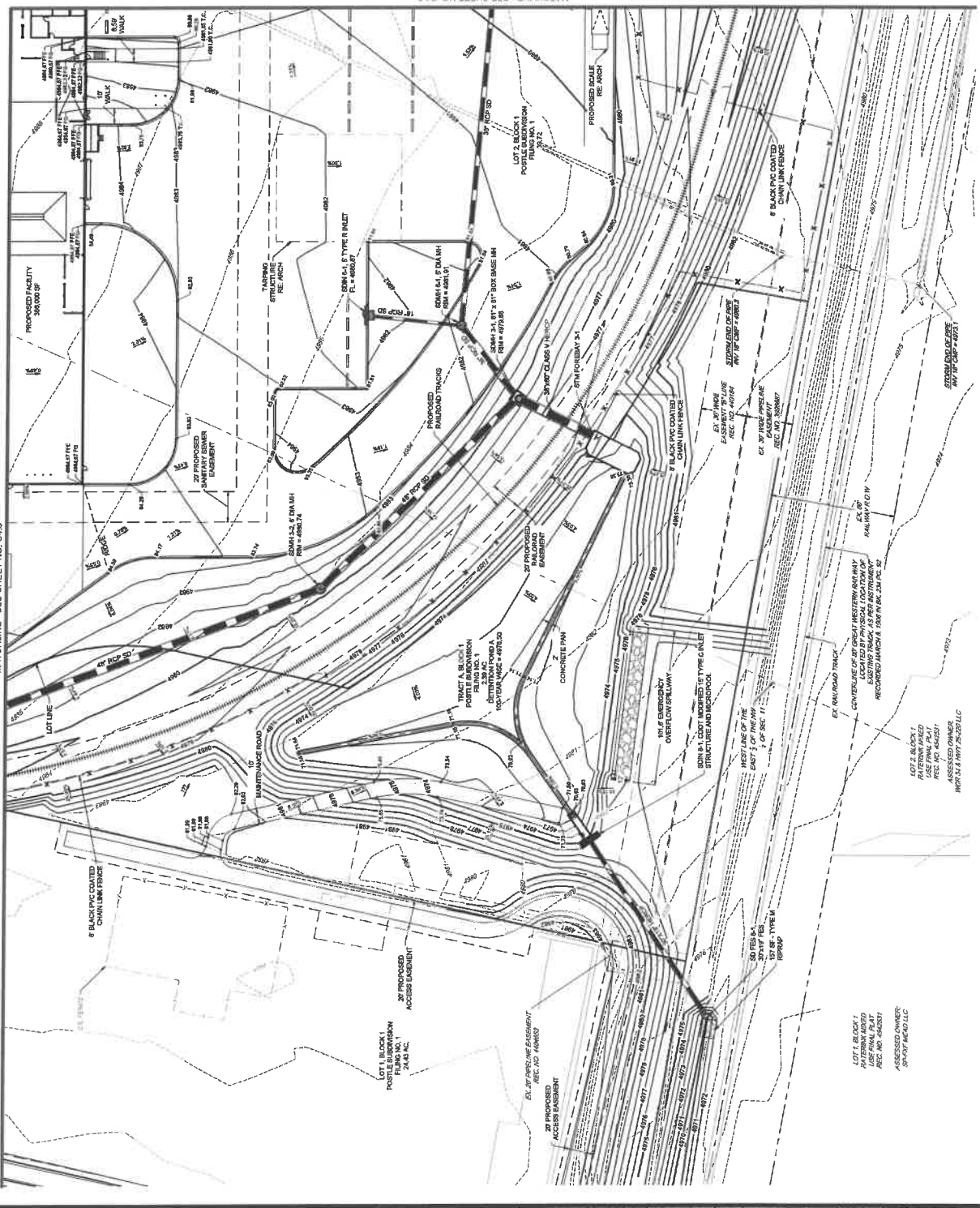
PROJECT
C4.4



1:2021, 10/20/11 - 2021 2008 Lead: [Name], Designer: [Name], Checker: [Name], Approver: [Name], Date: 10/20/11 - 10:20am



NOTE:
1. ALL STORM INFLOW/CATCHERS ARE PRIVATE UNLESS OTHERWISE NOTED.



MATCHLINE - SEE SHEET NO. C4.3

MATCHLINE - SEE SHEET NO. C4.6

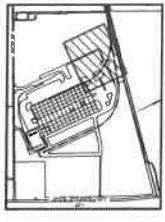
NO.	DATE	DESCRIPTION
1	12/15/2011	ISSUED FOR PERMITS
2	01/24/2012	REVISED PER COMMENTS
3	03/05/2012	REVISED PER COMMENTS
4	03/15/2012	REVISED PER COMMENTS
5	03/22/2012	REVISED PER COMMENTS

DETAILED GRADING PLAN
LOT 2, POSTLE SUBDIVISION FILING NO. 1
PROJECT FROGGER

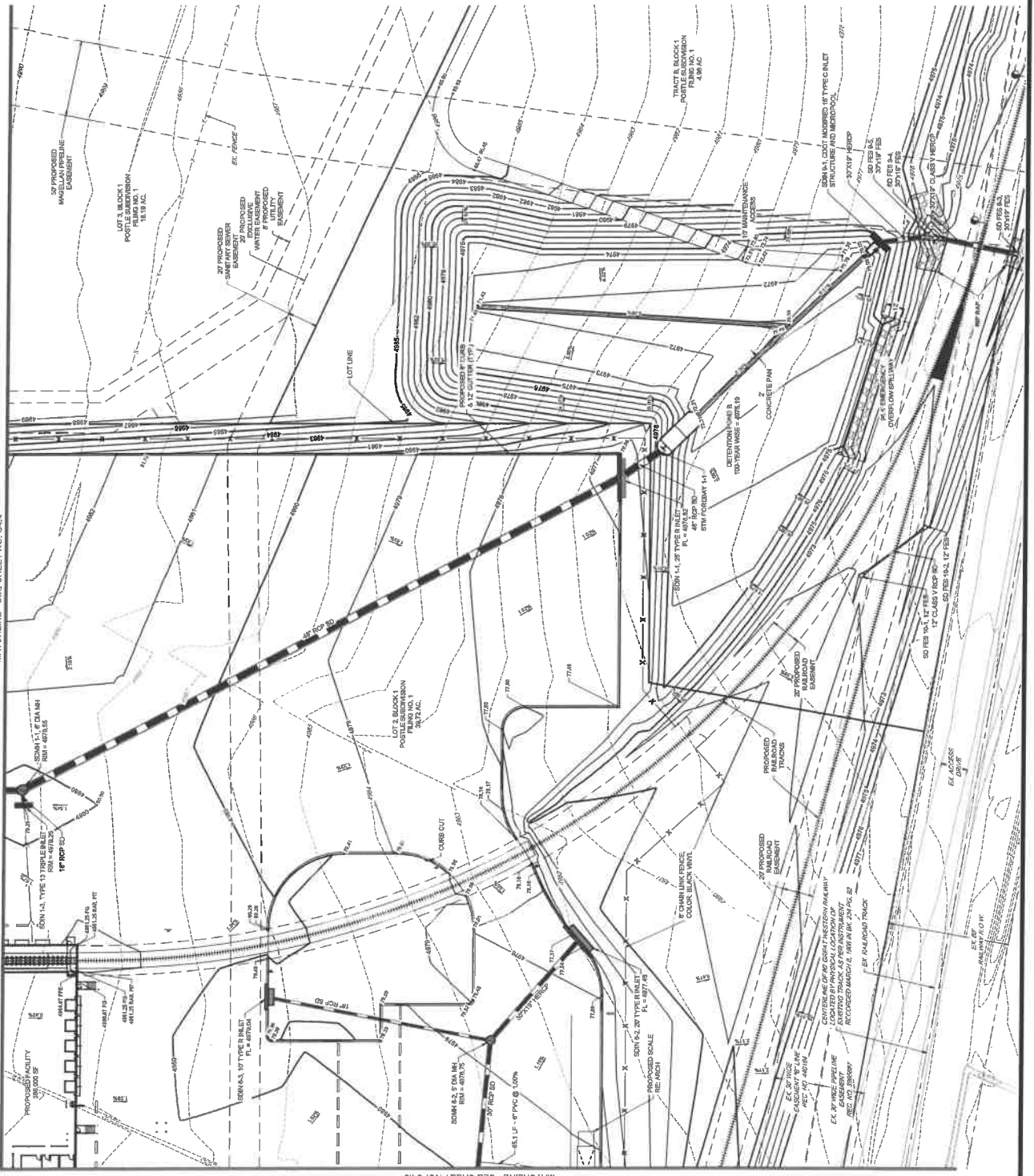
C4.6
SHEET



SCALE: 1" = 30'



NOTE:
1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
PRIVATE UNLESS OTHERWISE NOTED.



MATCHLINE - SEE SHEET NO. C4.4

MATCHLINE - SEE SHEET NO. C4.5

11/22/11/01/02/03/04/05/06/07/08/09/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100/101/102/103/104/105/106/107/108/109/110/111/112/113/114/115/116/117/118/119/120/121/122/123/124/125/126/127/128/129/130/131/132/133/134/135/136/137/138/139/140/141/142/143/144/145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000

OVERALL UTILITY PLAN

LOT 2, POSTLE SUBDIVISION FILING NO. 1

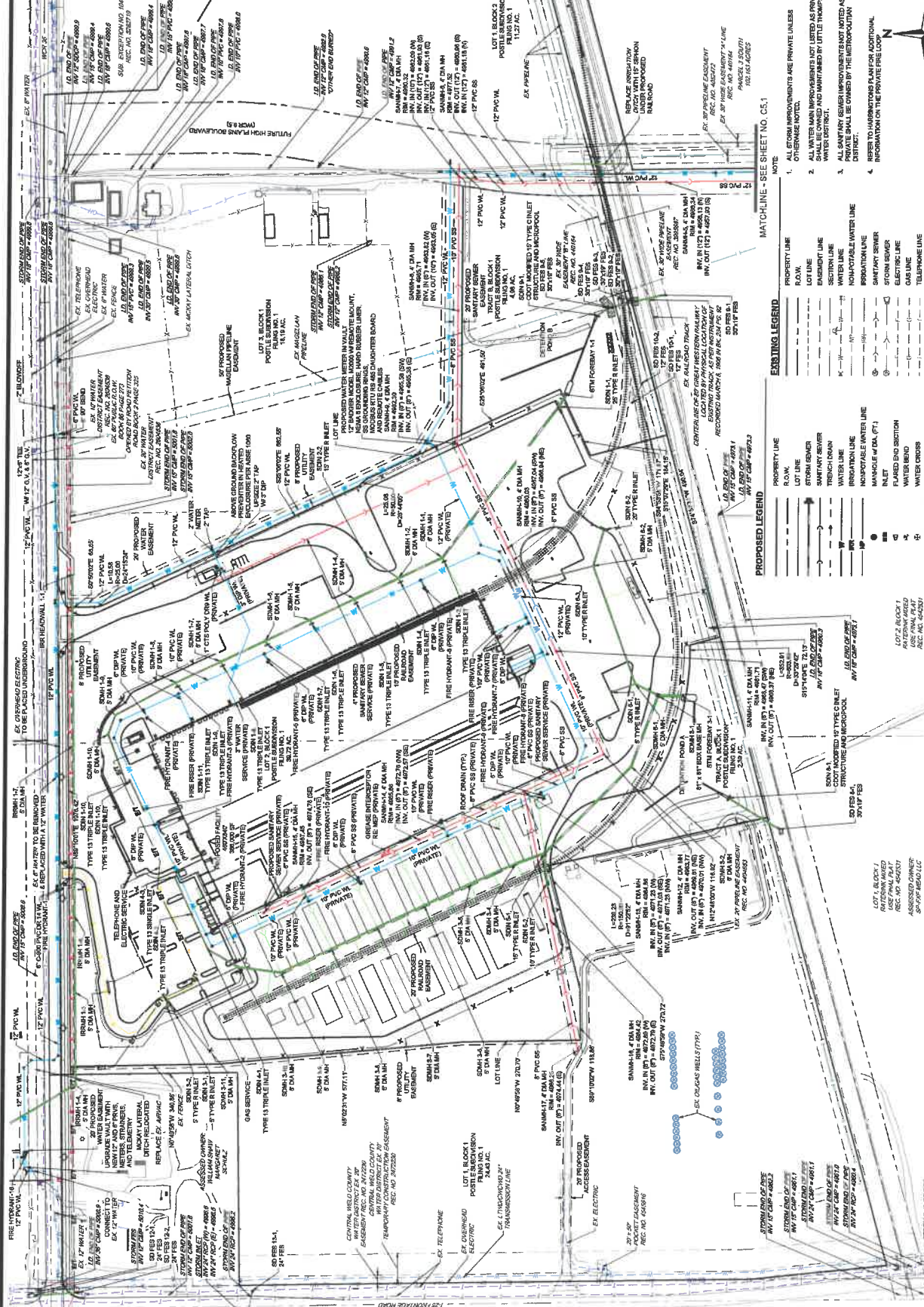
C5.0

SCALE: 1" = 100'

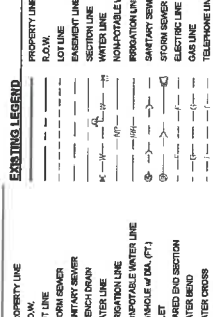
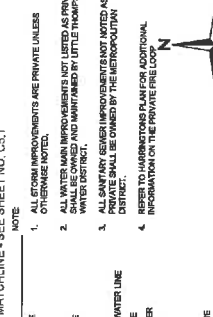


Redland
WHERE GREAT PLACES BEGIN

DRAWN	CHECKED	APPROVED	PROJECT NO.	DATE



NOTE:
1. ALL STORM IMPROVEMENTS ARE PRIVATE UNLESS OTHERWISE NOTED.
2. ALL WATER MAIN IMPROVEMENTS NOT LISTED AS PRIVATE WATER MAIN IMPROVEMENTS WILL BE UNDER THE CONTROL OF THE METROPOLITAN WATER DISTRICT.
3. ALL SANITARY SEWER IMPROVEMENTS NOT LISTED AS PRIVATE SANITARY SEWER IMPROVEMENTS WILL BE UNDER THE CONTROL OF THE METROPOLITAN WATER DISTRICT.
4. RESPONSIBILITY FOR THE PRIVATE PIPES FOR ADDITIONAL INFORMATION REFER TO THE PRIVATE PIPES FOR ADDITIONAL INFORMATION.



1.25 FRONTAGE ROAD

12" PVC WL

12" PVC WL

12" PVC WL

12" PVC WL

12" PVC WL

12" PVC WL

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12" PVC WL



Redland
 WITH GREAT PLACES IN MIND
 1000 West 10th Street
 Phoenix, AZ 85001
 602.998.8033
 REDLAND.COM

OFFSITE UTILITY PLAN

PROJECT PROGRER
 LOT 2, POSTLE SUBDIVISION FILING NO. 1

C5.1



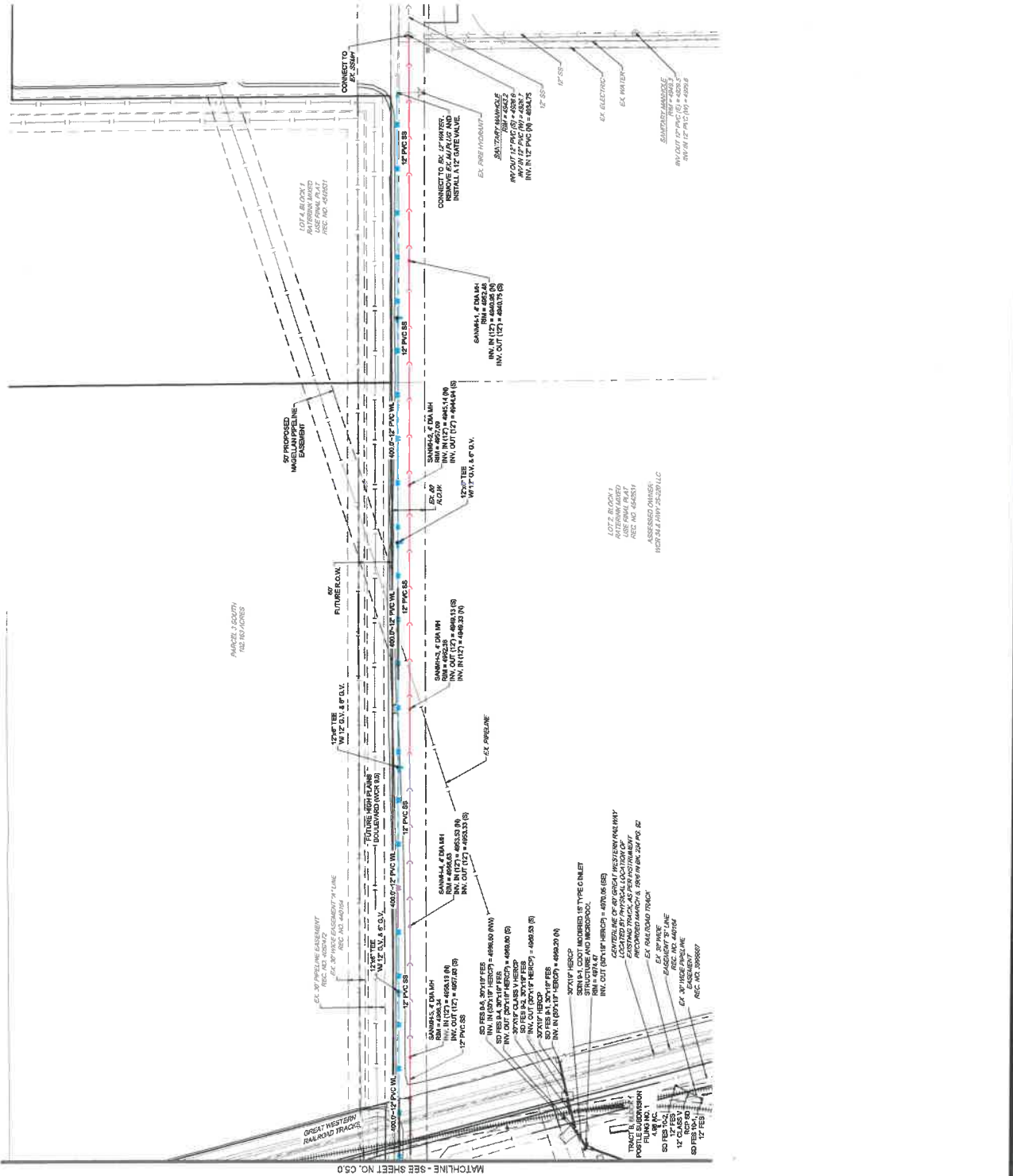
PROPOSED LEGEND

PROPERTY LINE	---
LOT LINE	---
STORM DRAIN	---
SANITARY SEWER	---
TRENCH DRAIN	---
WATER LINE	---
IRRIGATION LINE	---
NONPOTABLE WATER LINE	---
MANHOLE W/ DIA. (FT.)	⊙
MANHOLE W/ DIA. (FT.)	⊙
FLARED END SECTION	⊙
WATER CROSS	⊙
WATER TREE	⊙
WATER REDUCER	⊙
WATER VALVE	⊙
FIRE HYDRANT	⊙
PLUGGUP	⊙

EXISTING LEGEND

PROPERTY LINE	---
R.O.W.	---
LOT LINE	---
BASEMENT LINE	---
WATER LINE	---
NONPOTABLE WATER LINE	---
IRRIGATION LINE	---
SANITARY SEWER	---
STORM SEWER	---
ELECTRIC LINE	---
Gas LINE	---
TELEPHONE LINE	---
POLE	---
OVERHEAD ELECTRIC LINE	---
CABLE TELEVISION	---
100% FLOOD PLAIN	---
FEAR FLOOD PLAIN	---

- NOTE:**
1. ALL STORM IMPROVEMENTS ARE PRIVATE UNLESS OTHERWISE NOTED.
 2. ALL WATER MAIN IMPROVEMENTS NOT LISTED AS PRIVATE AND MAINTAINED BY UTILITY THROUGHOUT WATER DISTRICT.
 3. ALL SANITARY SEWER IMPROVEMENTS NOT NOTED AS PRIVATE SHALL BE OWNED BY THE METROPOLITAN DISTRICT.
 4. REFER TO SUBMITTALS PLAN FOR ADDITIONAL INFORMATION ON THE PRIVATE LOOP.



MATCHLINE - SEE SHEET NO. C5.0

DATE	02/20/2019
BY	12/12/2018
CHK	12/12/2018
APP	12/12/2018
DESIGN	12/12/2018
PROJ	12/12/2018
DATE	12/12/2018
BY	12/12/2018
CHK	12/12/2018
APP	12/12/2018
DESIGN	12/12/2018
PROJ	12/12/2018

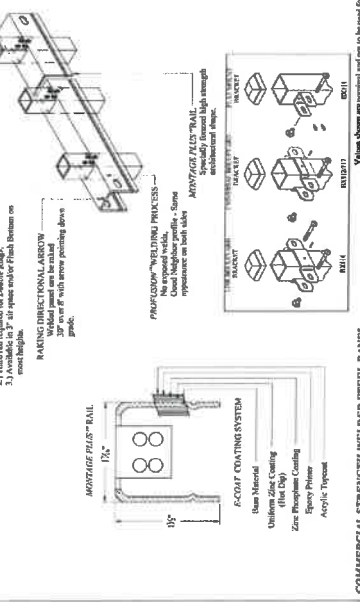
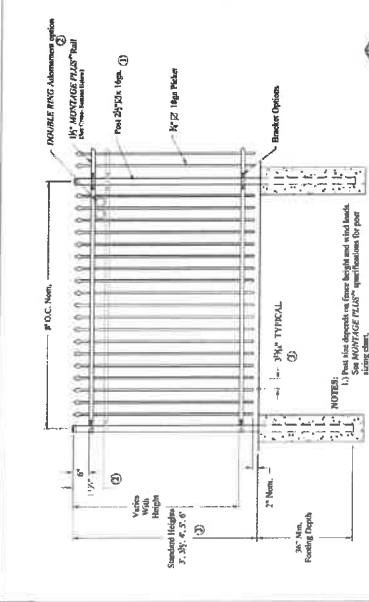


ColorBond® Color Coated Chain Link Fence Systems
ColorBond® color coated chain link systems are the natural choice for projects that require the aesthetically pleasing benefits of color, and the dependable security of chain link. Available in two environmentally-insulated colors - black and green - color coated chain link systems blend naturally with the environment and allow the beauty of the landscape and architecture to show through.

The architectural color coating is applied to the wire in one of three ways. Extruded (Good), Extruded & Adhered (Better) or Fused & Adhered (Best), and each method begins with a galvanized steel core wire. This process provides a double coating of protection and assures years of maintenance free performance.

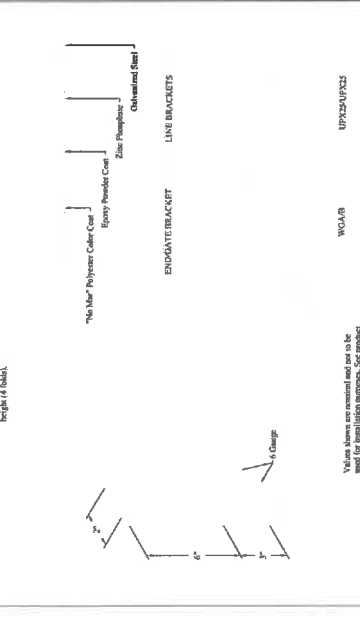
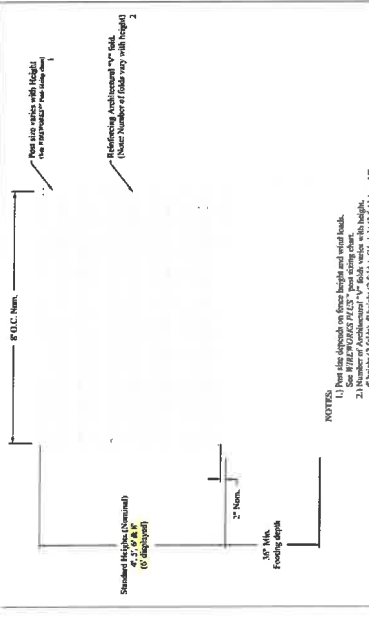


8" PVC COLOR COATED CHAIN LINK FENCE
COLOR: BLACK



AMERISTAR®
1555 N. Maple
Tulsa, OK 74116
1-888-833-1422
www.ameristarfence.com

COMMERCIAL STRENGTH WELDED STEEL PANEL
MONTAGE PLUS CLASSIC 2 1/2" RAIL
DR: CI SH: 16T SCALE: DO NOT SCALE
CK: ME Date 02/20/19 REV: c



AMERISTAR®
1555 N. Maple
Tulsa, OK 74116
1-888-833-1422
www.ameristarfence.com

WIREWORKS PLUS PANEL
DR: hmc SH: 16T SCALE: DO NOT SCALE
CK: Date 05/08/19 REV: b



8" AND 8" TYPHOON FENCE
COLOR: BLACK

DATE	NOV 17 2021
DESIGNED BY	BOB MARRAS
CHECKED BY	BOB MARRAS
PROJECT NO.	2009
SHEET	1 OF 1

PROJECT PROGER
 LOT 2, POSTLE SUBMISSION FILING NO. 1
 OVERALL LANDSCAPE PLAN

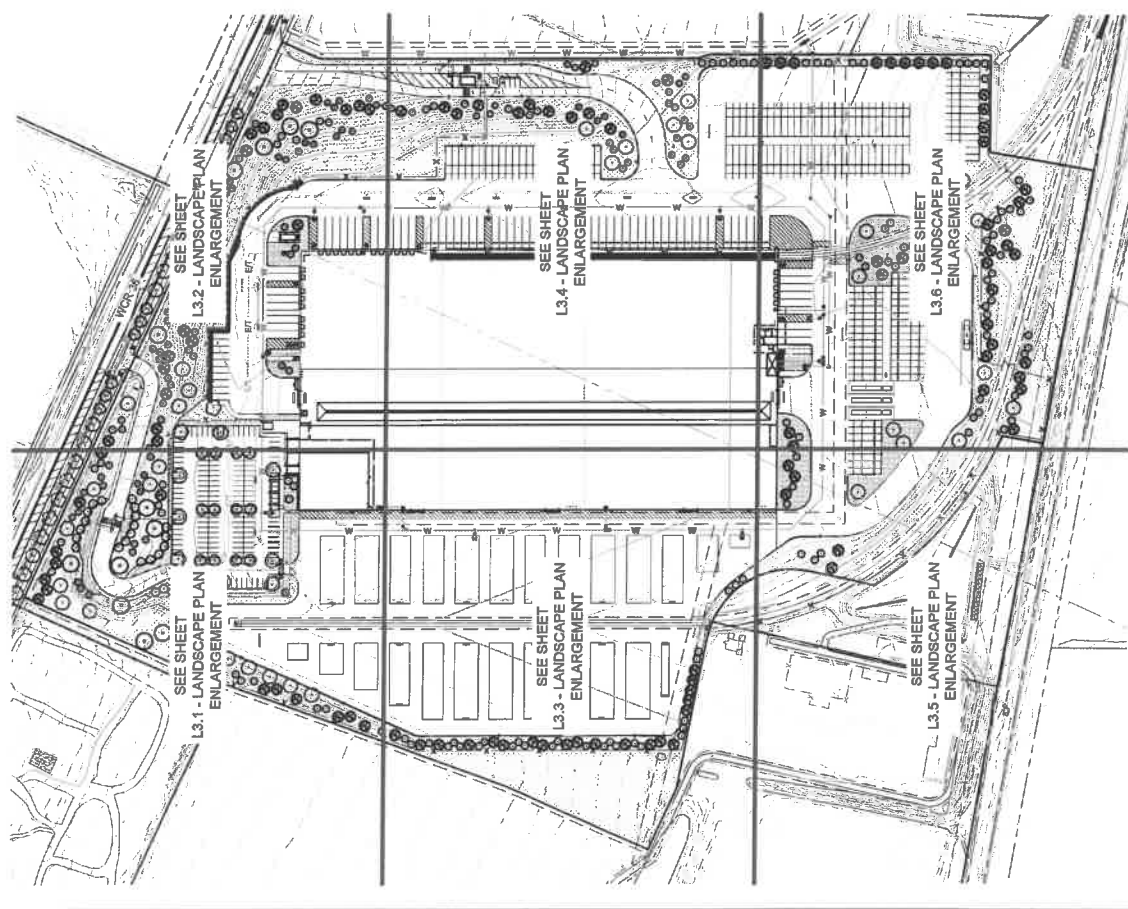
L2.1



LANDSCAPE STANDARDS	REQUIREMENT	PROVIDED
SITE GROSS AREA	1,733,287 SF (39.72 AC)	
	REQUIREMENT	28.12%
LANDSCAPE AREA	344,832 SF (7.85 AC)	
	REQUIREMENT	20%
ARTERIAL STREET RIGHT-OF-WAY - WILD COUNTY ROAD 39	REQUIREMENT	40 LF
	LANDSCAPE AREA STANDARDS	1,077 LF
SITE TREES - DECIDUOUS ORNAMENTAL OR EVERGREEN	REQUIREMENT	346,000 SF
	LANDSCAPE AREA	346,000 SF
PARKING LOT LANDSCAPING STANDARDS**	REQUIREMENT	146 SPACES
	LANDSCAPE AREA	3,099 SF
SITE TREES - DECIDUOUS ORNAMENTAL OR EVERGREEN	REQUIREMENT	30
	LANDSCAPE AREA	27
EVERGREEN	REQUIREMENT	27'

PLANT SCHEDULE ON LOT																																																																	
DECIDUOUS TREES	<table border="1"> <tr><th>SYMBOL</th><th>QUANTITY</th><th>BOTANICAL NAME</th><th>COMMON NAME</th><th>SIZE</th><th>CONTAINER</th><th>HEIGHT</th><th>SPREAD</th></tr> <tr><td>BAC</td><td>14</td><td><i>Quercus macrocarpa</i></td><td>Bur Oak</td><td>2" Cal</td><td>30" BBS</td><td>7'</td><td>27'</td></tr> <tr><td>HAC</td><td>40</td><td><i>Castanea sativa</i></td><td>Common Hackberry</td><td>2" Cal</td><td>30" BBS</td><td>6'</td><td>27'</td></tr> </table>	SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	HEIGHT	SPREAD	BAC	14	<i>Quercus macrocarpa</i>	Bur Oak	2" Cal	30" BBS	7'	27'	HAC	40	<i>Castanea sativa</i>	Common Hackberry	2" Cal	30" BBS	6'	27'																																								
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1:\POST\2009 - M3 - Redland\130th\130th Lot 2\130th Lot 2.dwg (1/17/21) 10:42:11 AM 130th Lot 2.dwg (1/17/21) 10:42:11 AM 130th Lot 2.dwg (1/17/21) 10:42:11 AM 130th Lot 2.dwg (1/17/21) 10:42:11 AM

DATE	1	12/17/2021
NO.	1	LANDSCAPE PLAN
BY	1	J. GARDNER
CHECKED	1	J. GARDNER
DATE	2	01/05/2022
NO.	2	LANDSCAPE PLAN
BY	2	J. GARDNER
CHECKED	2	J. GARDNER
DATE	3	03/08/2022
NO.	3	LANDSCAPE PLAN
BY	3	J. GARDNER
CHECKED	3	J. GARDNER

SCALE: 1" = 30'



LEGEND

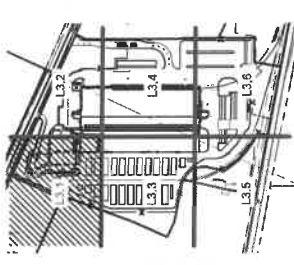
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- R.O.W.
- LOT LINE
- EMBANKMENT LINE
- ROAD CENTERLINE
- ROADSIDE SEE CIVIL
- RETAINING WALL SEE CIVIL
- STORM SEWER
- GUTTER
- WATER LINE
- SEWER LINE
- TELEPHONE LINE
- GAS LINE
- FIRE HYDRANT
- PROPOSED LIGHT POLE

W 0
 BT 0
 CH 0
 MD 0

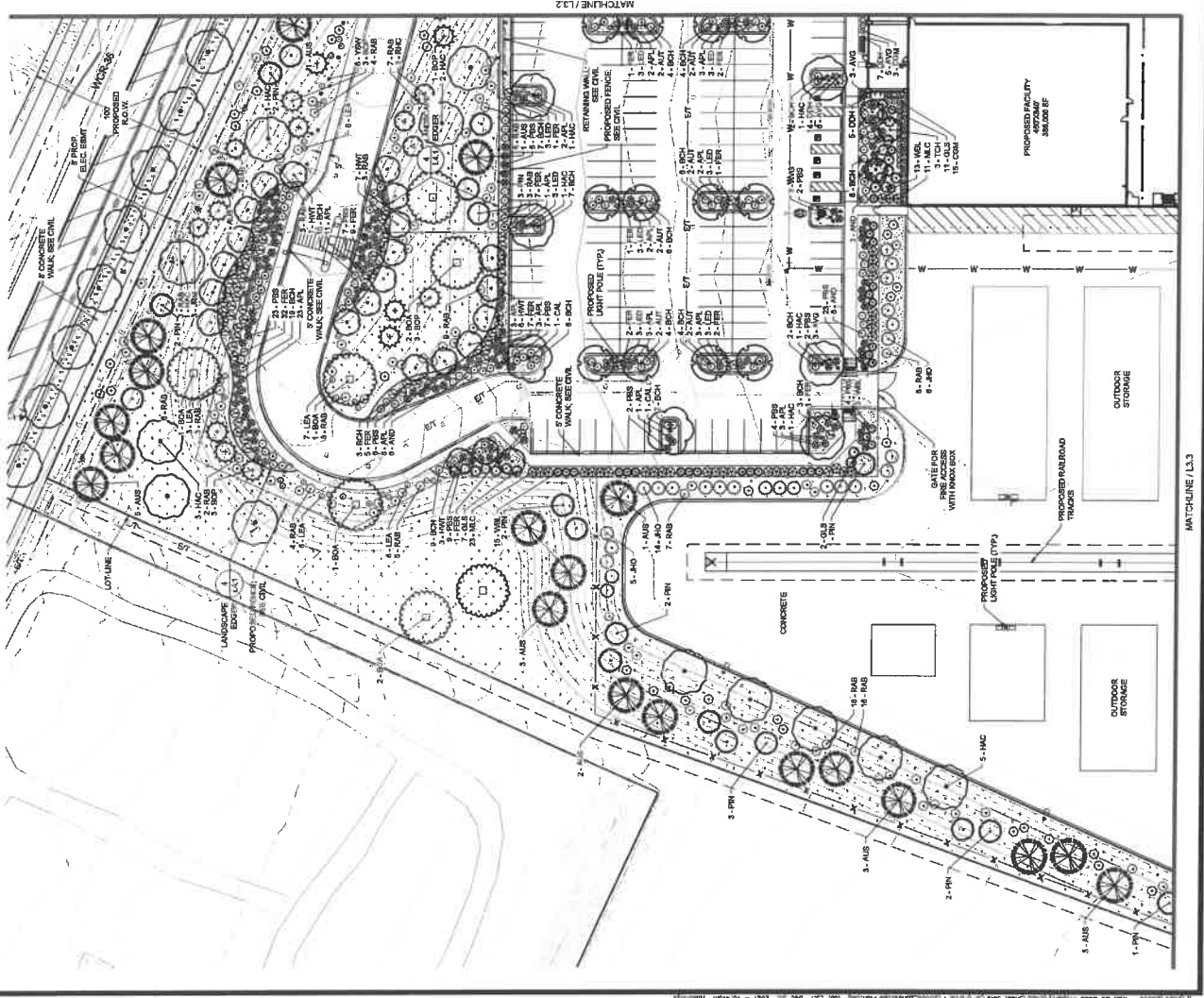
NATIVE SEED TYPE 1
NATIVE SEED TYPE 2
 ROCK MULCH
 COBBLE MULCH
LANDSCAPE EXTERIOR

NOTE:

- REFER TO SHEET L3.1 FOR PLANT SCHEDULE
- REFER TO SHEET L3.2 FOR PLANT SCHEDULE
- REFER TO SHEET L3.3 FOR PLANT SCHEDULE
- REFER TO SHEET L3.4 FOR PLANT SCHEDULE
- REFER TO SHEET L3.5 FOR PLANT SCHEDULE
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- REFER TO SHEET L3.28 FOR PLANT SCHEDULE
- REFER TO SHEET L3.29 FOR PLANT SCHEDULE
- REFER TO SHEET L3.30 FOR PLANT SCHEDULE



KEY MAP SCALE: 1"=400'



MATCHLINE / L3.3

MATCHLINE / L3.2

DATE	03.15.2021
REVISION	
NO.	DESCRIPTION
1	INITIAL TOPOGRAPHY
2	PRELIMINARY TOPOGRAPHY
3	LANDSCAPE PLAN ENLARGEMENT
4	FINAL
PROJECT NO.	2000
DATE	03.15.2021
SCALE	1"=40'

PROJECT FROGGER
LOT 2, POSTLE SUBMISSION FILING NO. 1

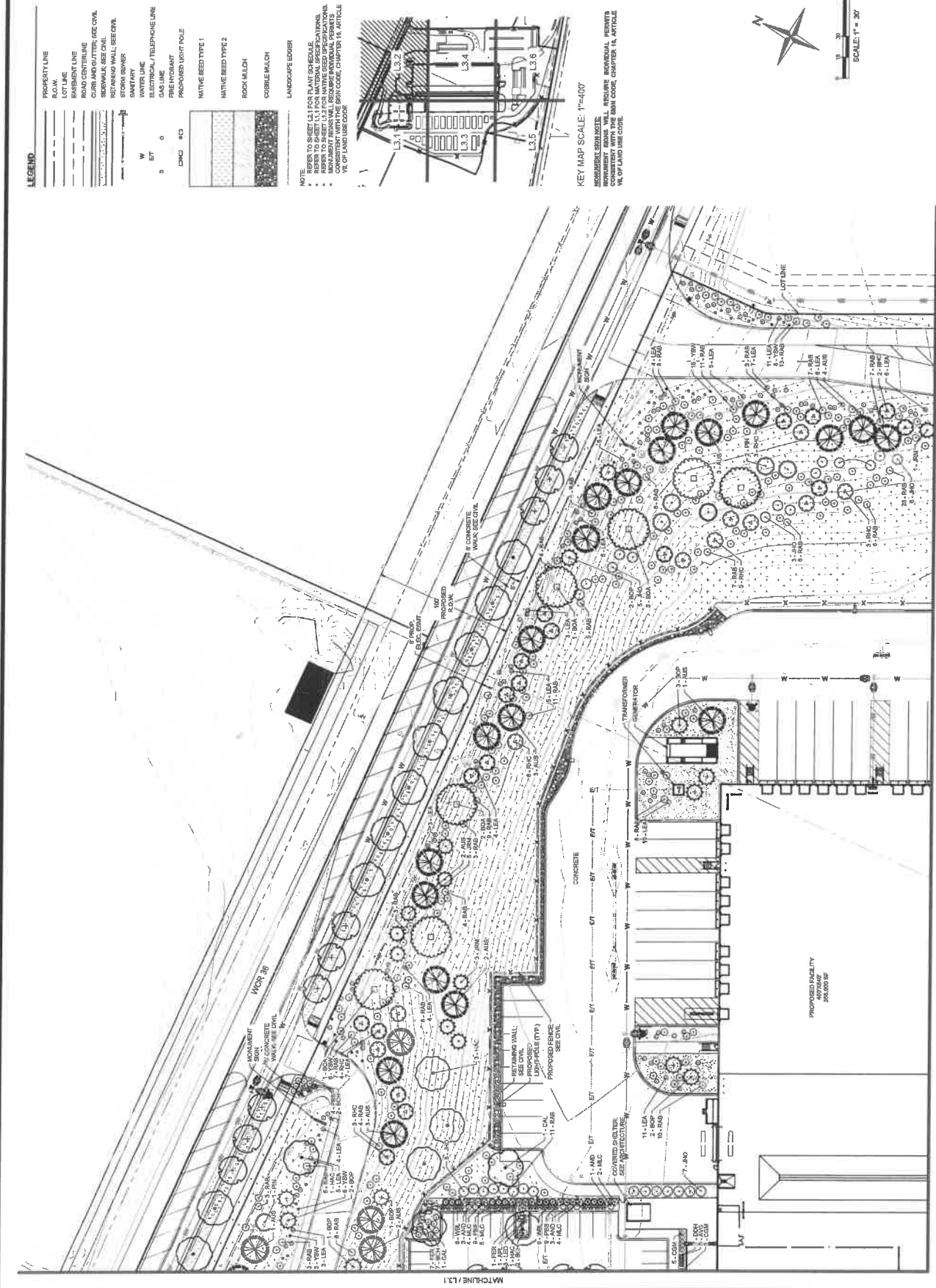
LANDSCAPE PLAN ENLARGEMENT

1"=40'



3/15/21

2728 2ND ST
LAKESIDE, CO 80123
MIDLAND.COM



LEGEND

- PROPERTY LINE
- R.O.W.
- LOT LINE
- BASEMENT LINE
- ROAD CENTERLINE
- STORM SEWER
- RETAINING WALL / SEE CIVIL
- STORM DRAINAGE
- STORM MANHOLE
- STORM SEWER
- SANITARY
- WATER LINE
- SEWER LINE / TELEPHONE LINE
- GAS LINE
- FIRE HYDRANT
- PROMISED LIGHT POLE
- NATIVE BEEB TYPE 1
- NATIVE BEEB TYPE 2
- ROCK MULCH
- COBBLE MULCH
- LANDSCAPE EDOER

NOTE:
• REFER TO SHEET L1 FOR PLANT SCHEDULE.
• REFER TO SHEET L1 FOR TREE AND SHRUB SCHEDULES.
• MONUMENT BRACKETS WILL REQUIRE INDIVIDUAL PERMITS.
• REFER TO SHEET L1 FOR NATIVE BEEB SPECIFICATIONS.
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KEY MAP SCALE: 1"=400'
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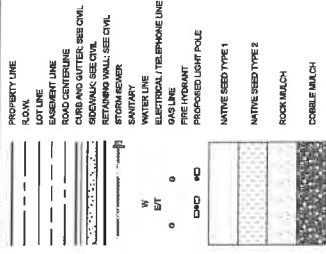
1"=400'

MATCHLINE / L1.1

MATCHLINE / L3.4

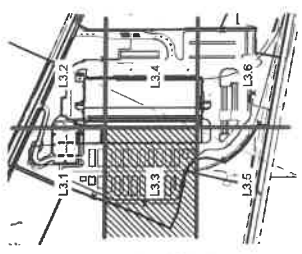
DATE	11/11/2011
DRWN	MAL
CHECKED	GUY
APPROVED	RIS
PROJECT NO.	2009
HOME SCALE	1"=10'
VERT. SCALE	N/A

LEGEND

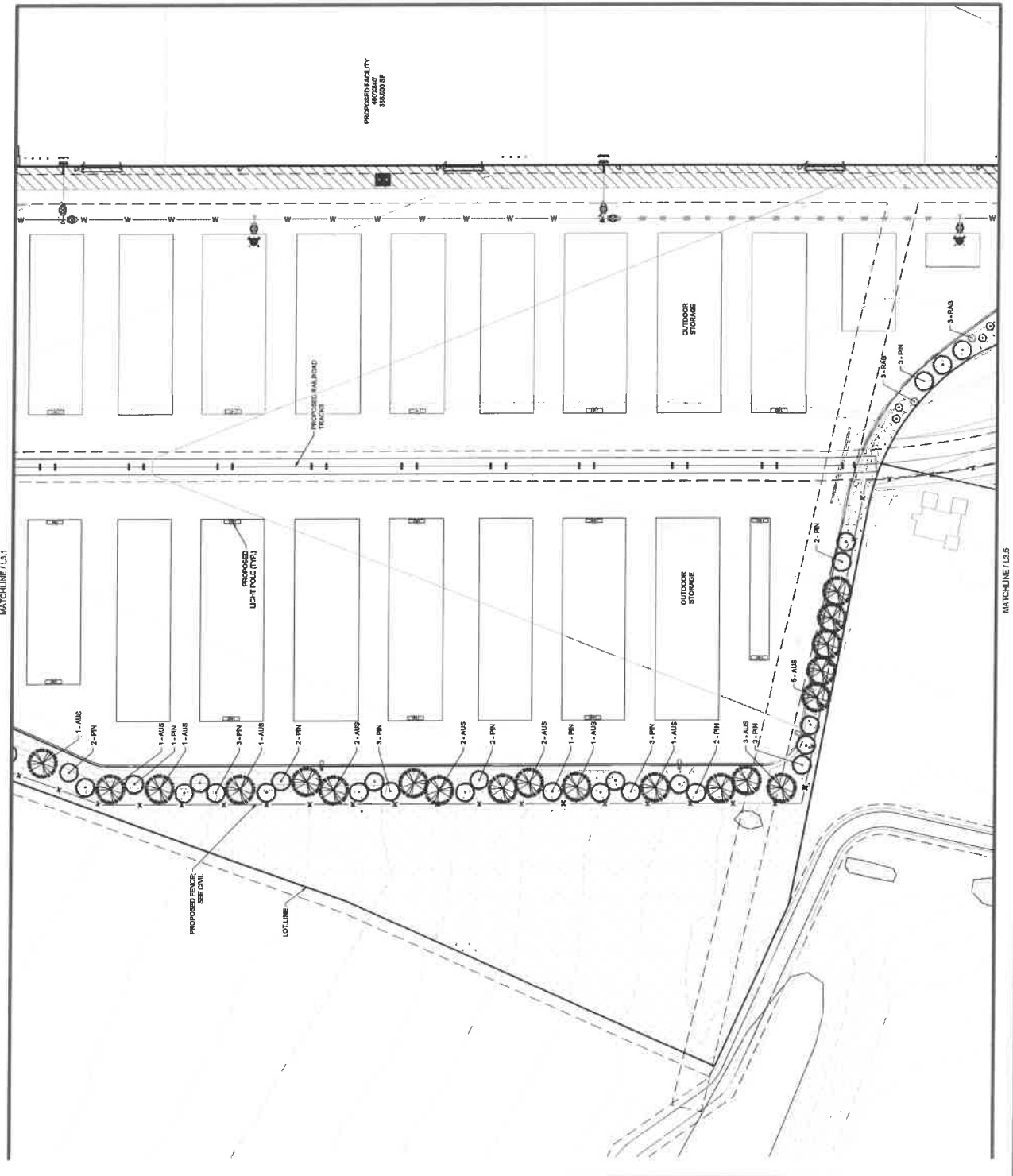


NOTE:

- REFER TO SHEET L3 FOR PLANT SCHEDULE.
- REFER TO SHEET L3 FOR PLANT SPECIFICATIONS.
- REFER TO SHEET L3.2 FOR NATIVE SEED SPECIFICATIONS.
- PLANTING DIMENSIONS WILL REQUIRE INDIVIDUAL PERMITS.
- INDICATED PLANTING AREAS WILL BE PLANTED WITH THE SPECIFIC PLANT OR SEED CODE LISTED ON SHEET L3.3.
- SEE SHEET L3 FOR LAND USE CODE.



KEY MAP SCALE: 1"=400'



PROPOSED FACILITY
46707A07
356,000 SF

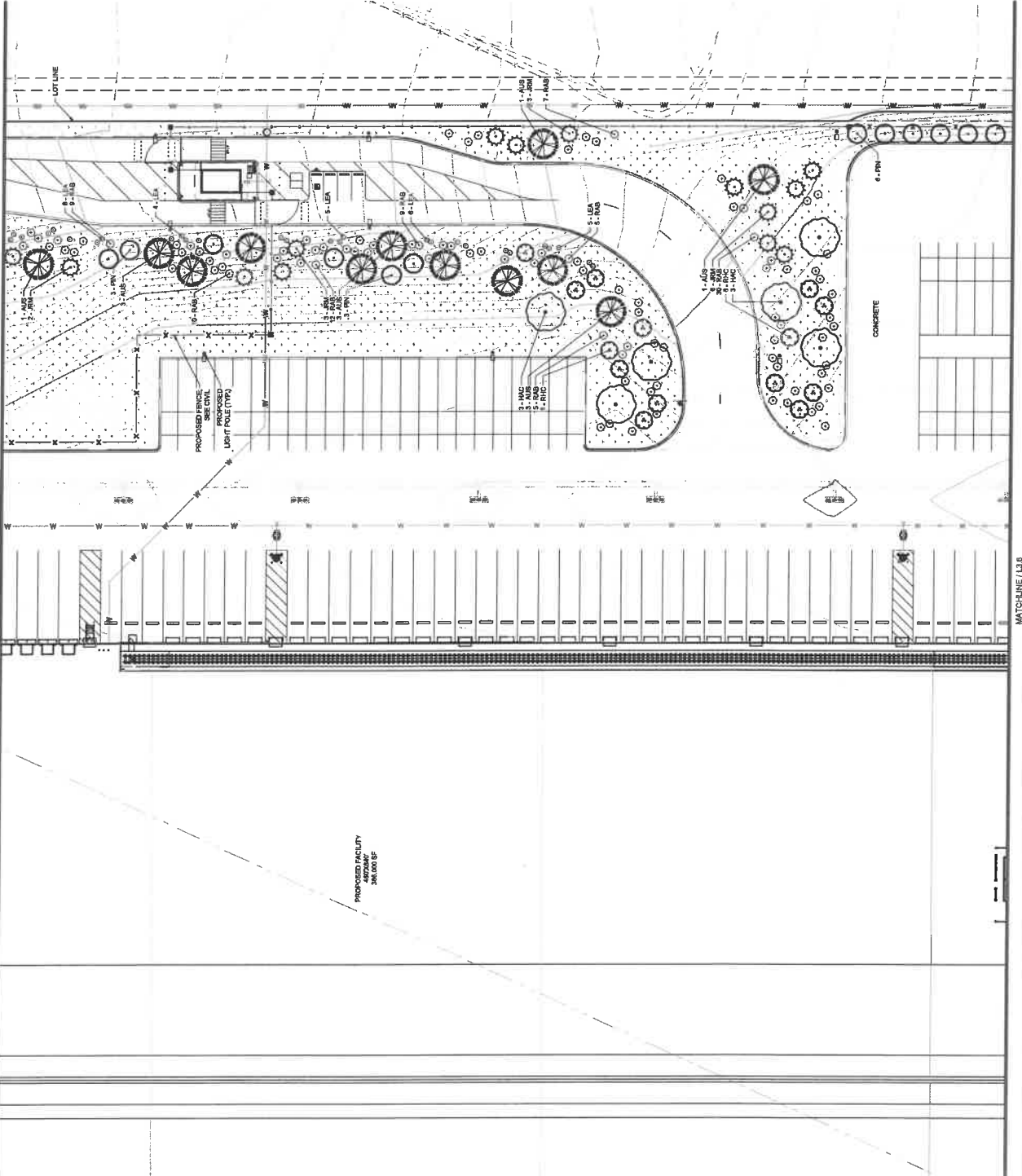
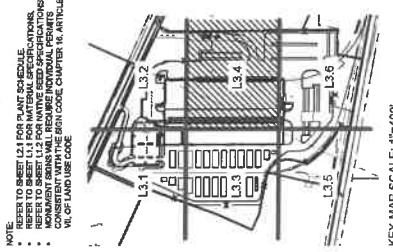
LEGEND

- PROPERTY LINE
- R.O.V. LINE
- LOT LINE
- EMBANKMENT LINE
- ROAD CENTERLINE
- CURB AND GUTTER: SEE CIVIL
- RETAINING WALL: SEE CIVIL
- STORM SEWER
- SANITARY
- WATER LINE
- ELECTRICAL TELEPHONE LINE
- PROPPOSED LIGHT POLE
- FIRE HYDRANT
- DNCO
- RD
- WN
- BT
- 0
- BT
- 0
- 0

- MATVE SEED TYPE 1
- MATVE SEED TYPE 2
- ROCK/MULCH
- COBBLE/MULCH
- LANDSCAPE EDGE

NOTE:

- REFER TO SHEET L3.1 FOR PLANT SCHEDULE.
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- REFER TO SHEET L3.81 FOR MATVE SEED SPECIFICATIONS.
- REFER TO SHEET L3.82 FOR MATVE SEED SPECIFICATIONS.
- REFER TO SHEET L3.83 FOR MATVE SEED SPECIFICATIONS.
- REFER TO SHEET L3.84 FOR MATVE SEED SPECIFICATIONS.
- REFER TO SHEET L3.85 FOR MATVE SEED SPECIFICATIONS.
- REFER TO SHEET L3.86 FOR MATVE SEED SPECIFICATIONS.
- REFER TO SHEET L3.87 FOR MATVE SEED SPECIFICATIONS.
- REFER TO SHEET L3.88 FOR MATVE SEED SPECIFICATIONS.
- REFER TO SHEET L3.89 FOR MATVE SEED SPECIFICATIONS.
- REFER TO SHEET L3.90 FOR MATVE SEED SPECIFICATIONS.
- REFER TO SHEET L3.91 FOR MATVE SEED SPECIFICATIONS.
- REFER TO SHEET L3.92 FOR MATVE SEED SPECIFICATIONS.
- REFER TO SHEET L3.93 FOR MATVE SEED SPECIFICATIONS.
- REFER TO SHEET L3.94 FOR MATVE SEED SPECIFICATIONS.
- REFER TO SHEET L3.95 FOR MATVE SEED SPECIFICATIONS.
- REFER TO SHEET L3.96 FOR MATVE SEED SPECIFICATIONS.
- REFER TO SHEET L3.97 FOR MATVE SEED SPECIFICATIONS.
- REFER TO SHEET L3.98 FOR MATVE SEED SPECIFICATIONS.
- REFER TO SHEET L3.99 FOR MATVE SEED SPECIFICATIONS.
- REFER TO SHEET L3.100 FOR MATVE SEED SPECIFICATIONS.



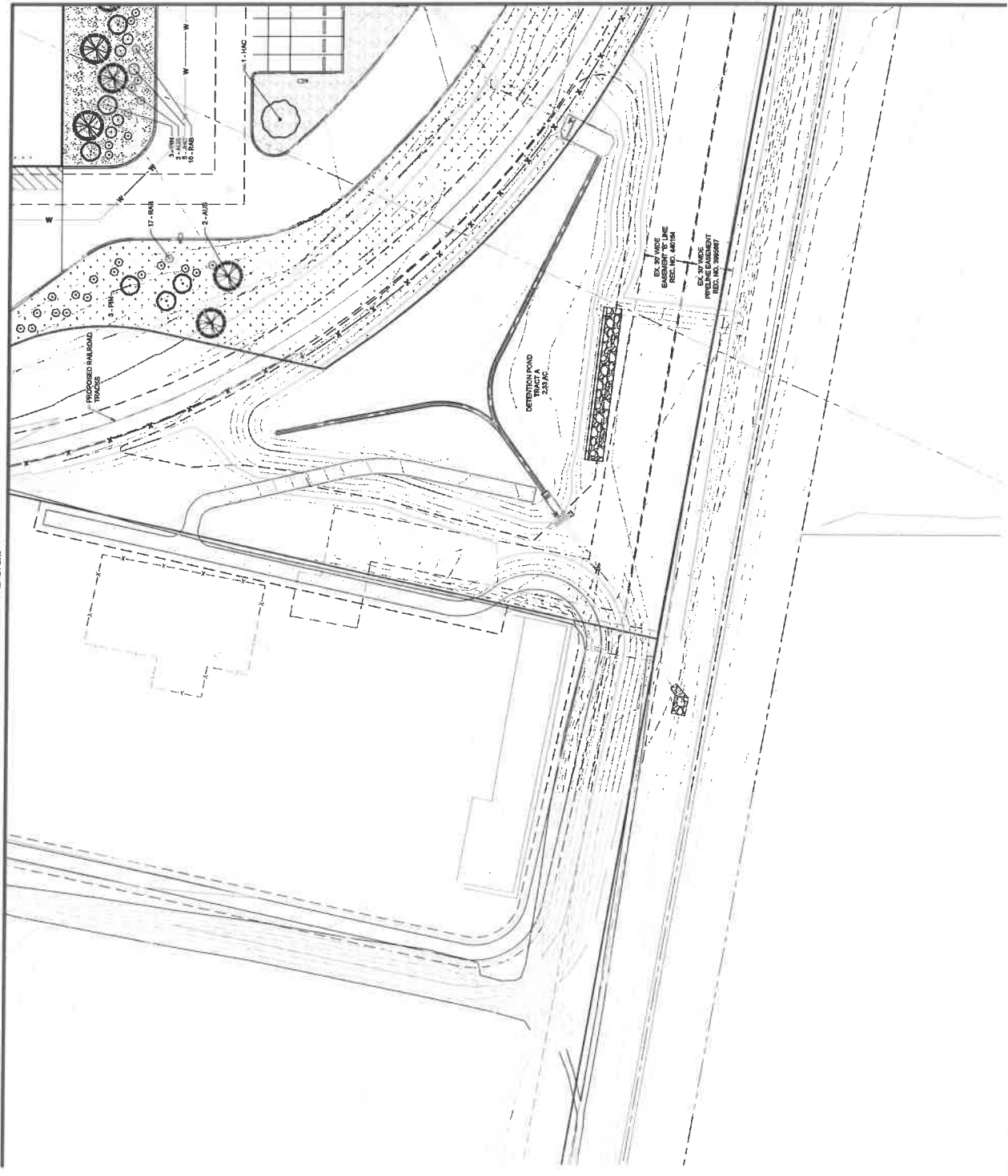
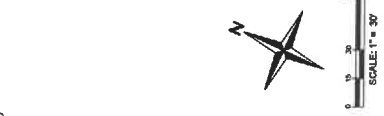
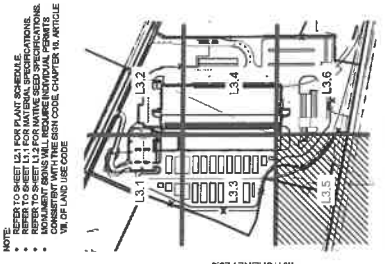


DATE	NO.	DESCRIPTION
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12/17/2021	2	REVISED TO TOWN
12/17/2021	3	REVISED TO TOWN
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12/17/2021	47	REVISED TO TOWN
12/17/2021	48	REVISED TO TOWN
12/17/2021	49	REVISED TO TOWN
12/17/2021	50	REVISED TO TOWN

LEGEND

- PROPERTY LINE
- LOT LINE
- EASEMENT LINE
- ROAD CENTERLINE
- CURB AND GUTTER, SEE CIVIL
- SIDWALK, SEE CIVIL
- RETAINING WALL, SEE CIVIL
- LANDSCAPE EDDER
- WATER LINE
- ELECTRICAL / TELEPHONE LINE
- GAS LINE
- PROPOSED LIGHT POLE
- PRELIMINARY
- W
- BT
- 0
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- 50

NOTE:
 * REFER TO SHEET L3.1 FOR PLANT SCHEDULE.
 * REFER TO SHEET L3.2 FOR MATERIAL SPECIFICATIONS.
 * REFER TO SHEET L3.3 FOR FINISHES.
 * MONUMENTARY BRASS WILL REQUIRE INDIVIDUAL PERMITS.
 * REFER TO SHEET L3.4 FOR LIGHT FIXTURES.
 * REFER TO SHEET L3.5 FOR LAND USE CODE.



MATCHLINE / L3.3

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ATLANTA, GEORGIA 30309
404.525.1234
WWW.MACCREGOR.COM

**PAINT SCHEME
DETAILS AND
SCHEDULE**

A-303

FOR CONSTRUCTION

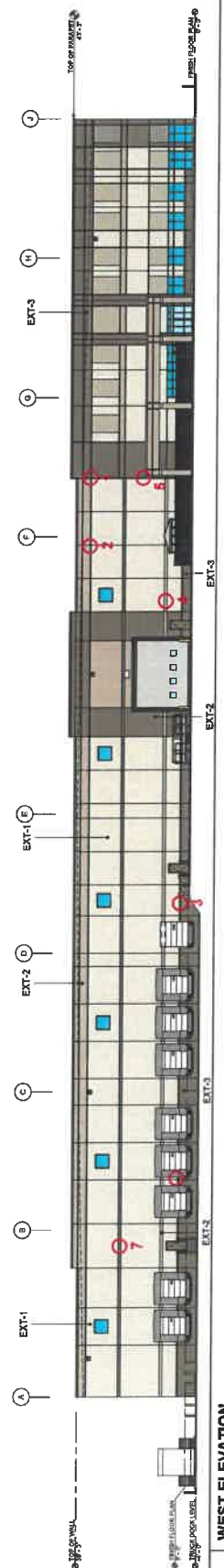
- EXH-1 MATCH FINC - CLASS SANDSTONE
- EXH-2 MATCH FINC - 10Y 5000 METAL
- EXH-3 MATCH FINC - 10Y 1000P
- EXH-4 MATCH FINC - 10Y 1000P
- EXH-5 MATCH FINC - 10Y 1000P
- EXH-6 MATCH FINC - 10Y 1000P
- EXH-7 MATCH FINC - 10Y 1000P

- EXH-1 MATCH ADJACENT WALL
- EXH-2 MATCH ADJACENT WALL
- EXH-3 MATCH ADJACENT WALL
- EXH-4 MATCH ADJACENT WALL
- EXH-5 MATCH ADJACENT WALL
- EXH-6 MATCH ADJACENT WALL
- EXH-7 MATCH ADJACENT WALL

- METAL CORNER
- METAL LINER
- HOLLOW METAL FRAME AND DOOR
- ROLLUP BLIND
- GAZONHOUSE WALLS
- WATER TANK
- METAL DOWNPOUT
- DOWNPOUT COVER
- ORNAMENTAL FINCE AT PINTO
- OUTDOOR SHELTER

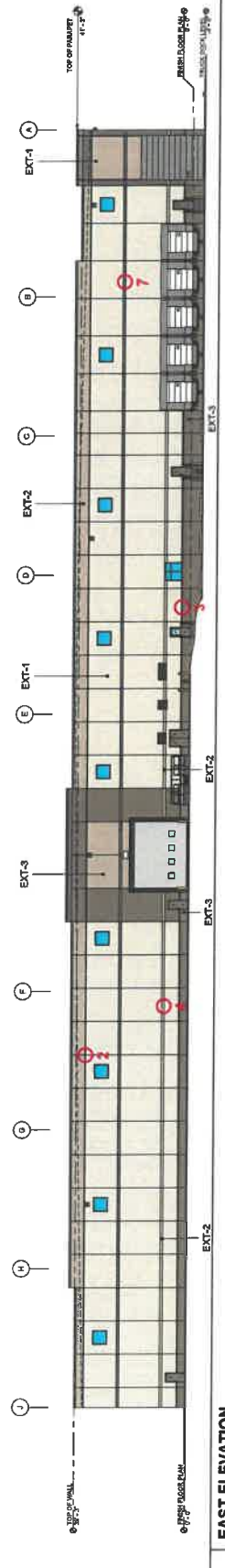
- EXH-1 MATCH ADJACENT WALL
- EXH-2 MATCH ADJACENT WALL
- EXH-3 MATCH ADJACENT WALL
- EXH-4 MATCH ADJACENT WALL
- EXH-5 MATCH ADJACENT WALL
- EXH-6 MATCH ADJACENT WALL
- EXH-7 MATCH ADJACENT WALL

NOTE:
BUILDING ELEVATIONS COLOR SCHEME VARIES DEPENDING ON DEVELOPER / OWNER OR LOCAL
REGULATIONS. THESE ARE TYPICAL COLOR TRANSITIONS TO BE COORDINATED
WITH SPECIFIC PROJECT REQUIREMENTS.



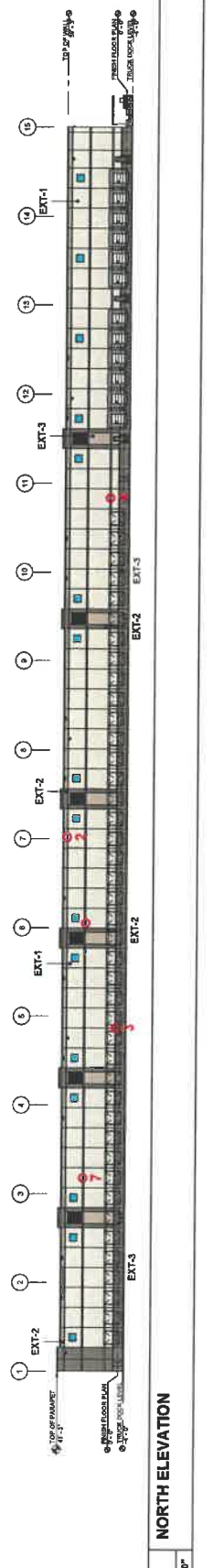
4 WEST ELEVATION

1/16" = 1'-0"



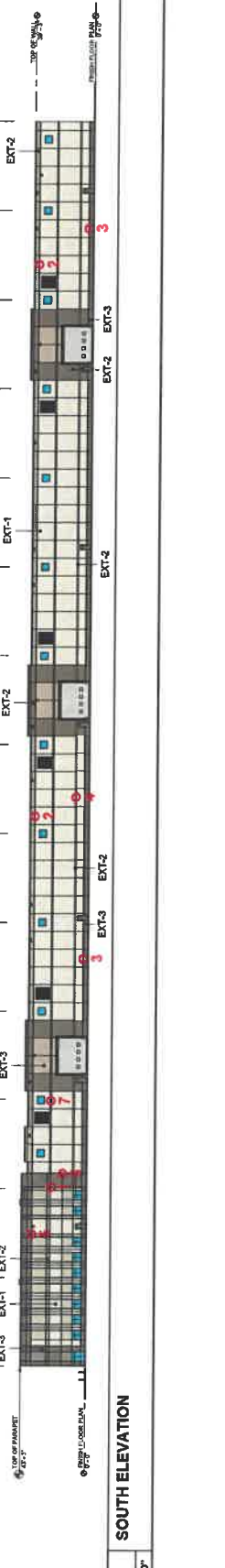
3 EAST ELEVATION

1/16" = 1'-0"



2 NORTH ELEVATION

1" = 30'-0"



1 SOUTH ELEVATION

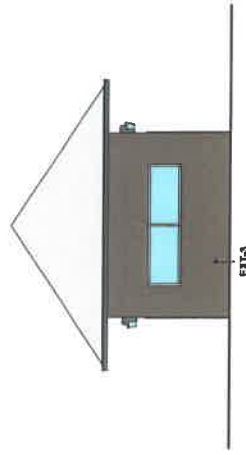
1" = 30'-0"

- EX-T-1 MATCH FIN. - CLASS SANDSTONE
- EX-T-2 METAL - 18" GAUGE GRISE
- EX-T-3 IMPERIAL BROWN

- METAL DOWN
- METAL UP
- METAL FRAME AND DOOR
- COLLARD ALUMINUM
- GUARDHOUSE ROOF
- GUARDHOUSE WALLS
- WATER-TANK
- METAL DOWN
- METAL CORNER/CORNER
- (DOWN EXTERIOR CORNER)
- COMMERCIAL FINISH AT FINISH
- OUTDOOR BENCH

- EX-T-1 MATCH ADJACENT WALL
- EX-T-2 MATCH ADJACENT WALL
- EX-T-3 MATCH ADJACENT WALL
- EX-T-4 MATCH ADJACENT WALL
- EX-T-5 MATCH ADJACENT WALL
- EX-T-6 MATCH ADJACENT WALL
- EX-T-7 MATCH ADJACENT WALL
- EX-T-8 MATCH ADJACENT WALL
- EX-T-9 MATCH ADJACENT WALL
- EX-T-10 MATCH ADJACENT WALL
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- EX-T-14 MATCH ADJACENT WALL
- EX-T-15 MATCH ADJACENT WALL
- EX-T-16 MATCH ADJACENT WALL
- EX-T-17 MATCH ADJACENT WALL
- EX-T-18 MATCH ADJACENT WALL
- EX-T-19 MATCH ADJACENT WALL
- EX-T-20 MATCH ADJACENT WALL

NOTE:
 BUILDING ELEVATIONS COLOR SCHEME DESIGN VARIES DEPENDING ON DEVELOPER / OWNER OR LOCAL
 JURISDICTION REQUIREMENTS. DETAILS HEREIN ARE TYPICAL COLOR TRANSITIONS TO BE COORDINATED
 WITH SPECIFIC PROJECT REQUIREMENTS.



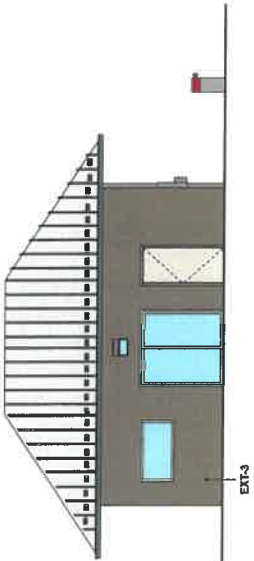
3 GUARDHOUSE - WEST ELEVATION

3
1/8" = 1'-0"



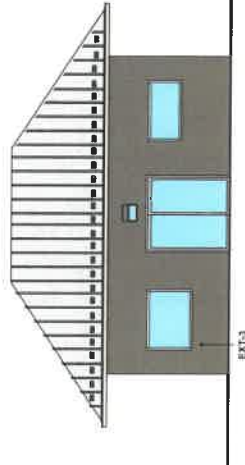
1 GUARDHOUSE - EAST ELEVATION

1
1/8" = 1'-0"



4 GUARDHOUSE - SOUTH ELEVATION

4
1/8" = 1'-0"



2 GUARDHOUSE - NORTH ELEVATION

2
1/8" = 1'-0"

EXT. 1 METAL CLADDING - CLAD SANDSTONE

- METAL CLADDING
- METAL FINISH
- PULLDOWN METAL FRAME AND DOOR
- RAISED BASE
- CLAD SANDSTONE WALLS
- CLAD SANDSTONE ROOF
- VERTICAL RAKE
- METAL GUTTER
- METAL DOWNPOUT
- COMPOSITE METAL PANEL
- SMALL ENTRY CANOPY
- CONCREMENTAL FINISH AT PATIO
- OUTDOOR SHEDS

EXT. 2 GLENN - BOTTI BROWN UNBLEND

EXT. 3 GLENN - BOTTI BROWN UNBLEND

EXT. 4 GLENN - BOTTI BROWN UNBLEND

EXT. 5 GLENN - BOTTI BROWN UNBLEND

EXT. 6 GLENN - BOTTI BROWN UNBLEND

EXT. 7 GLENN - BOTTI BROWN UNBLEND

EXT. 8 GLENN - BOTTI BROWN UNBLEND

EXT. 9 GLENN - BOTTI BROWN UNBLEND

EXT. 10 GLENN - BOTTI BROWN UNBLEND

EXT. 11 GLENN - BOTTI BROWN UNBLEND

EXT. 12 GLENN - BOTTI BROWN UNBLEND

EXT. 13 GLENN - BOTTI BROWN UNBLEND

EXT. 14 GLENN - BOTTI BROWN UNBLEND

NOTE: THIS RELATIONS COLOR SCHEME DESIGN VARIES DEPENDING ON DEVELOPER, OWNER OR LOCAL JURISDICTION REQUIREMENTS. DETAILS HEREIN ARE TYPICAL COLOR TRANSITIONS TO BE COORDINATED WITH SPECIFIC PROJECT REQUIREMENTS.

6 TARPING STRUCTURE - WEST ELEVATION

1/8" = 1'-0"

4 3D TARPING STRUCTURE

1/8" = 1'-0"

3 TARPING STRUCTURE - NORTH ELEVATION

1/8" = 1'-0"

2 TARPING STRUCTURE - EAST ELEVATION

1/8" = 1'-0"

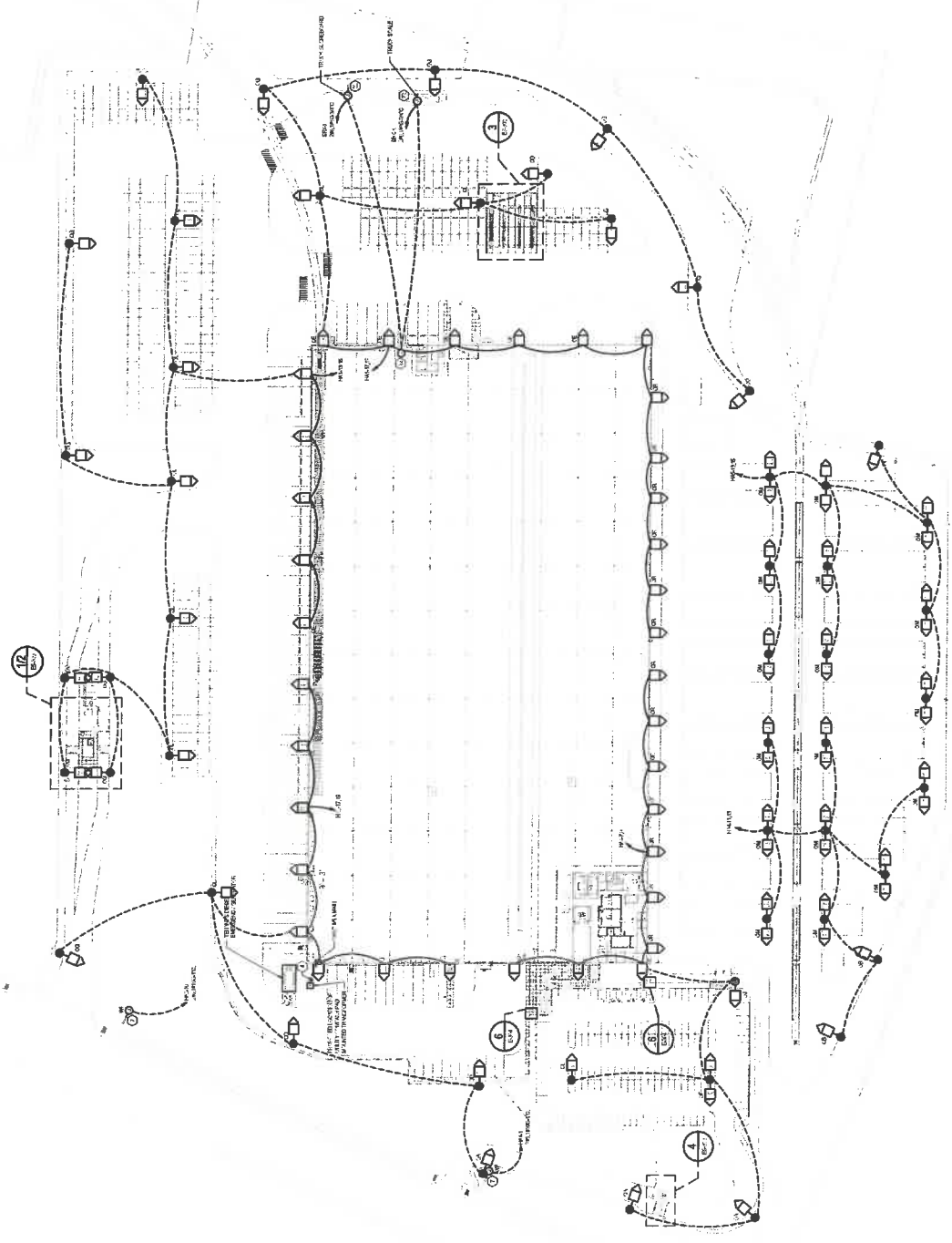
1 TARPING STRUCTURE - SOUTH ELEVATION

1/8" = 1'-0"

- GENERAL NOTES:**
- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE REGULATIONS.
 - ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE REGULATIONS.
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 - ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE REGULATIONS.

KEY NOTES, DESIGNATED BY:

1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE REGULATIONS.
2. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE REGULATIONS.
3. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE REGULATIONS.
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18. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE REGULATIONS.
19. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE REGULATIONS.
20. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE REGULATIONS.



GENERAL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES, IBC, AND THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, NEC.
- ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, NEC.
- ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, NEC.
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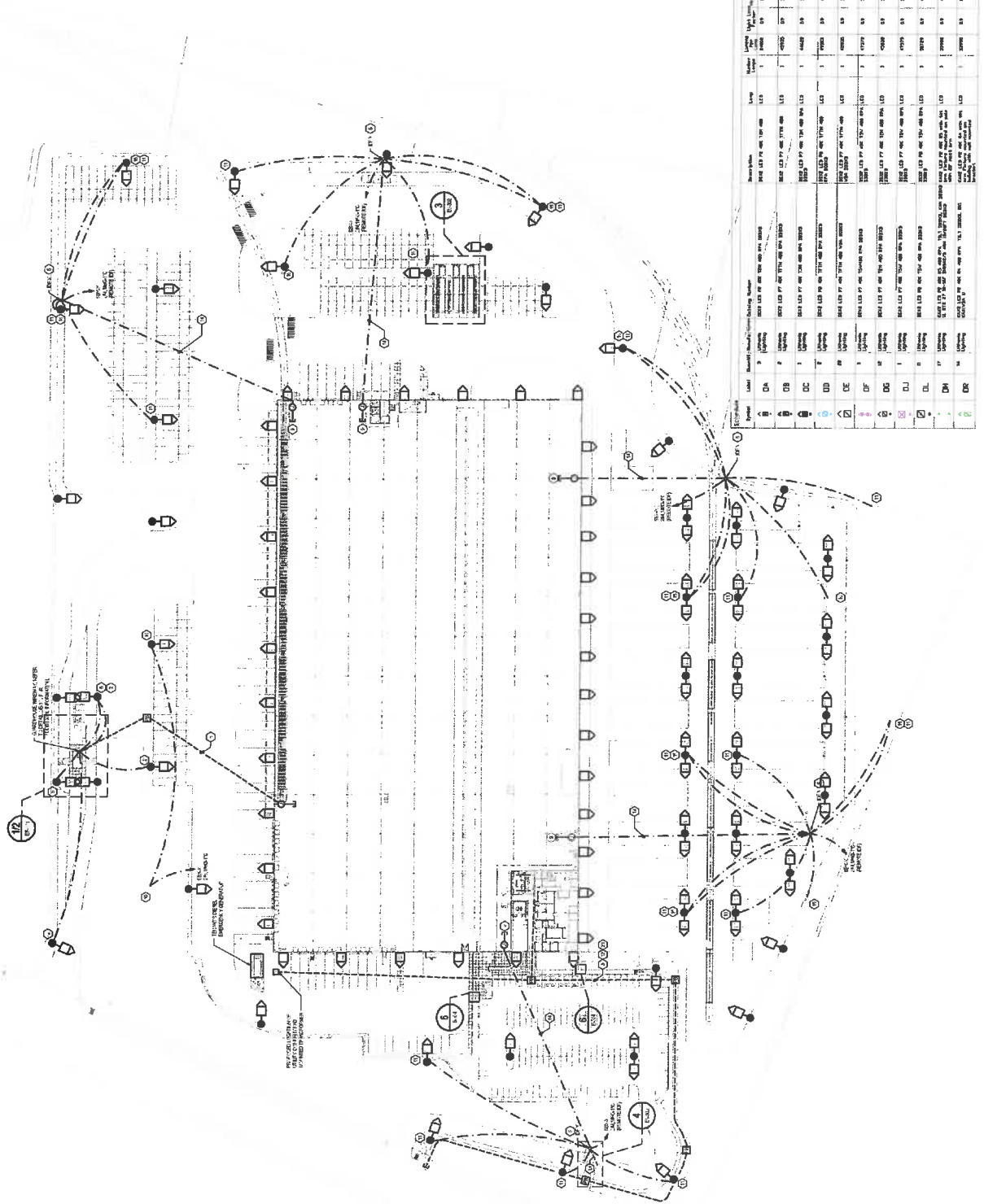
KEY NOTES - DESIGNATED BY 707

- 707-1: ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, NEC.
- 707-2: ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, NEC.
- 707-3: ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, NEC.
- 707-4: ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, NEC.
- 707-5: ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, NEC.
- 707-6: ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, NEC.
- 707-7: ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, NEC.
- 707-8: ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, NEC.
- 707-9: ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, NEC.
- 707-10: ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, NEC.

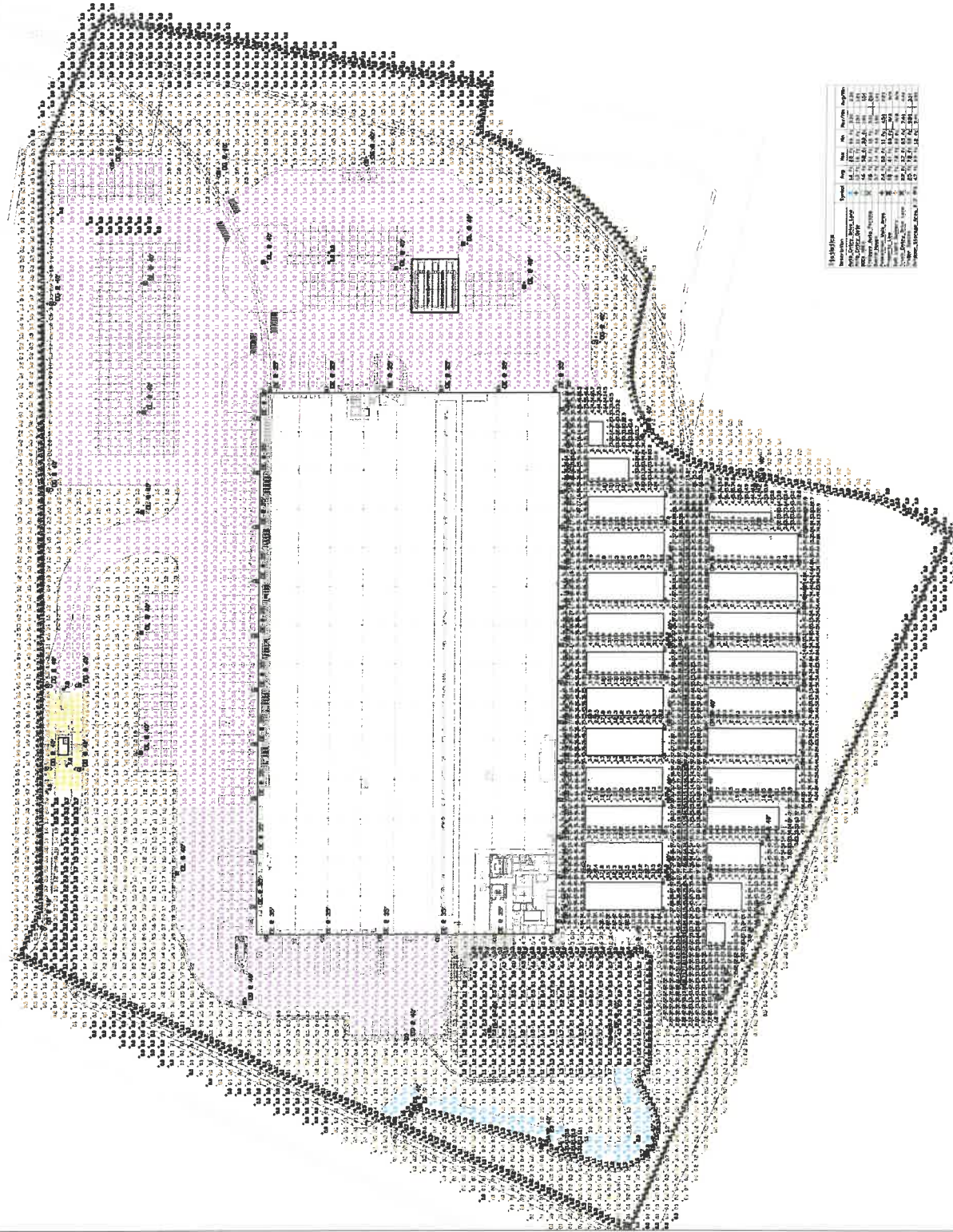
GENERAL NOTES:

- ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, NEC.
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- ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, NEC.

System	Symbol	Notes	Quantity	Notes	Quantity	Notes	Quantity
1	1	120V 15A GFI Breaker	1	120V 15A GFI Breaker	1	120V 15A GFI Breaker	1
2	2	120V 20A GFI Breaker	1	120V 20A GFI Breaker	1	120V 20A GFI Breaker	1
3	3	120V 30A GFI Breaker	1	120V 30A GFI Breaker	1	120V 30A GFI Breaker	1
4	4	120V 40A GFI Breaker	1	120V 40A GFI Breaker	1	120V 40A GFI Breaker	1
5	5	120V 50A GFI Breaker	1	120V 50A GFI Breaker	1	120V 50A GFI Breaker	1
6	6	120V 60A GFI Breaker	1	120V 60A GFI Breaker	1	120V 60A GFI Breaker	1
7	7	120V 70A GFI Breaker	1	120V 70A GFI Breaker	1	120V 70A GFI Breaker	1
8	8	120V 80A GFI Breaker	1	120V 80A GFI Breaker	1	120V 80A GFI Breaker	1
9	9	120V 90A GFI Breaker	1	120V 90A GFI Breaker	1	120V 90A GFI Breaker	1
10	10	120V 100A GFI Breaker	1	120V 100A GFI Breaker	1	120V 100A GFI Breaker	1



Item No.	Description	Quantity	Unit	Value
1	Gravel	1,200	cu yd	120,000
2	Concrete	150	cu yd	45,000
3	Asphalt	1,500	cu yd	300,000
4	Rebar	100	lb	10,000
5	Formwork	1,000	sq ft	10,000
6	Excavation	200	cu yd	20,000
7	Backfill	1,000	cu yd	100,000
8	Landscaping	100	sq ft	10,000
9	Site Preparation	1,000	sq ft	10,000
10	Construction Labor	10,000	hrs	1,000,000
11	Permit Fees	1	fee	10,000
12	Design Fees	1	fee	50,000
13	Professional Fees	1	fee	100,000
14	Contingency	1	fee	100,000
15	Subtotal			1,685,000
16	Total			1,685,000





MACREGOR ASSOCIATES ARCHITECTS

2722 Perry Street SE
Albuquerque, NM 87106
760.863.2200 | 760.863.2200

DATE: 11/15/2023



JSE
Jordan & Skala
Engineers

10000 1st Avenue NE
Albuquerque, NM 87112
505.833.1100

DATE: 11/15/2023

PROJECT: NEW FIBER

CONTRACT INFORMATION

DATE: 11/15/2023

PROJECT: NEW FIBER

WELD COUNTY ROAD 34
HEAD, COLORADO



10000 1st Avenue NE
Albuquerque, NM 87112
505.833.1100

DATE: 11/15/2023

PROJECT: NEW FIBER

WELD COUNTY ROAD 34
HEAD, COLORADO

DATE: 11/15/2023

PROJECT: NEW FIBER

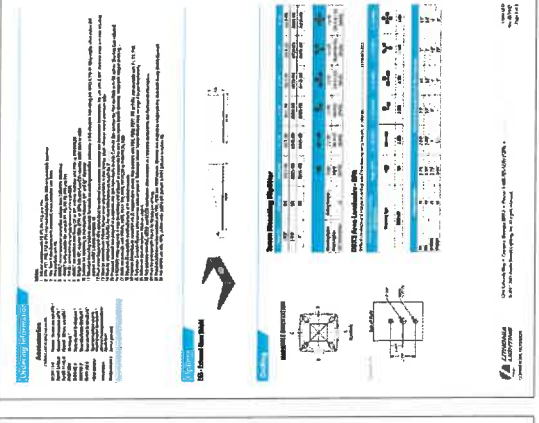
WELD COUNTY ROAD 34
HEAD, COLORADO

PERFORMANCE DATA

Lighting fixture performance data table with columns for fixture type, lumens, and other metrics.

General Notes

Notes regarding lighting fixture installation, including requirements for mounting, wiring, and safety.



Product Specifications

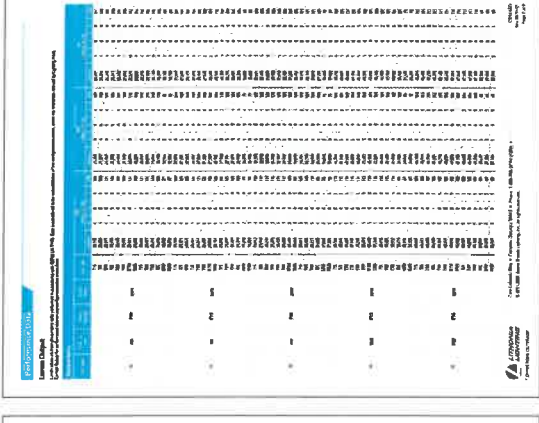
Technical specifications for the lighting fixture, including dimensions, materials, and performance metrics.

PERFORMANCE DATA

Lighting fixture performance data table with columns for fixture type, lumens, and other metrics.

General Notes

Notes regarding lighting fixture installation, including requirements for mounting, wiring, and safety.



Product Specifications

Technical specifications for the lighting fixture, including dimensions, materials, and performance metrics.



MACE
MACCREGOR
ASSOCIATES
ARCHITECTS

2727 Powers Ferry Road, SE
Atlanta, Georgia 30329
T. 404.525.7100
F. 404.525.7101



JSE
Jordan & Skala
Engineers

11000 E. Harvard Ave., Suite 200
Denver, Colorado 80231
P. 303.755.1234
F. 303.755.1235

PROJECT NO. 100100001

BUILDING NAME FOR PROJECT

**PROJECT
FROGGER**

WELD COUNTY ROAD 24
DENVER, COLORADO



THE OFFICIAL ARCHITECT OF RECORD FOR THE
PROJECT IS MACE ASSOCIATES ARCHITECTS
AND JORDAN & SKALA ENGINEERS.
THIS DOCUMENT IS THE PROPERTY OF MACE
ASSOCIATES ARCHITECTS AND JORDAN &
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SYSTEMS WITHOUT PERMISSION IN WRITING
FROM MACE ASSOCIATES ARCHITECTS
AND JORDAN & SKALA ENGINEERS.

DATE: 01/11/2021

**ELECTRICAL
CUT SHEETS**

E-008

NOT FOR CONSTRUCTION

Capable Luminaire

Capable Luminaire: This table lists the luminaires that are capable of being used in the project. The table includes the luminaire name, model number, and the number of units required.

Luminaire Name	Model Number	Units Required
...

Capable Luminaire Schedule

Capable Luminaire Schedule: This table lists the luminaires that are capable of being used in the project. The table includes the luminaire name, model number, and the number of units required.

Luminaire Name	Model Number	Units Required
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Luminaire Name	Model Number	Units Required
...

Notes:
1. ALL LUMINAIRE INFORMATION MUST BE VERIFIED PRIOR TO RELEASE.
2. DRILLING MUST BE LOCATED WITHIN AN CONNECTION TO AVOID INTERFERENCE WITH WARE.

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1. ALL LUMINAIRE INFORMATION MUST BE VERIFIED PRIOR TO RELEASE.
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2222 Pennsylvania Blvd DE
 WILMINGTON, DELAWARE 19806
 TEL: 302.438.1000 FAX: 302.438.1001



11200 W. 11th Avenue, Suite 100
 Broomfield, CO 80020
 TEL: 303.440.9500 FAX: 303.440.9501

PROJECT FOR

PROJECT FROGGER

WELD COUNTY GRADE 5A
 NEAR COLORADO



WELD COUNTY GRADE 5A
 NEAR COLORADO

DATE: 08/10/2017
 TIME: 10:00 AM

PROJECT NO: 17-001

DATE: 08/10/2017

PROJECT NO: 17-001

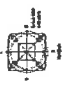


PROJECT NO: 17-001

E-009

NOT FOR CONSTRUCTION

RTS Round Laprod Steel Poles

MANUFACTURING INFORMATION

Item	Description	Quantity	Unit	Material	Notes
101	RTS Round Laprod Steel Pole - 30" Dia. x 30' H.	1	EA	ASTM A513 Type 1	See drawing for details.
102	RTS Round Laprod Steel Pole - 30" Dia. x 20' H.	1	EA	ASTM A513 Type 1	See drawing for details.
103	RTS Round Laprod Steel Pole - 30" Dia. x 10' H.	1	EA	ASTM A513 Type 1	See drawing for details.
104	RTS Round Laprod Steel Pole - 30" Dia. x 5' H.	1	EA	ASTM A513 Type 1	See drawing for details.
105	RTS Round Laprod Steel Pole - 30" Dia. x 3' H.	1	EA	ASTM A513 Type 1	See drawing for details.
106	RTS Round Laprod Steel Pole - 30" Dia. x 1.5' H.	1	EA	ASTM A513 Type 1	See drawing for details.
107	RTS Round Laprod Steel Pole - 30" Dia. x 0.75' H.	1	EA	ASTM A513 Type 1	See drawing for details.
108	RTS Round Laprod Steel Pole - 30" Dia. x 0.375' H.	1	EA	ASTM A513 Type 1	See drawing for details.
109	RTS Round Laprod Steel Pole - 30" Dia. x 0.1875' H.	1	EA	ASTM A513 Type 1	See drawing for details.
110	RTS Round Laprod Steel Pole - 30" Dia. x 0.09375' H.	1	EA	ASTM A513 Type 1	See drawing for details.

NOTES:

- POLES SHALL BE MANUFACTURED TO THE FOLLOWING SPECIFICATIONS:
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105	RTS Round Laprod Steel Pole - 30" Dia. x 3' H.	1	EA	ASTM A513 Type 1	See drawing for details.
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RTS Round Laprod Steel Poles

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RTS Round Laprod Steel Poles



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- POLES SHALL BE MANUFACTURED TO THE FOLLOWING SPECIFICATIONS:

LITHONIA LIGHTING
 BUSINESS & OPERATIONS
 11200 W. 11th Avenue, Suite 100
 Broomfield, CO 80020
 TEL: 303.440.9500 FAX: 303.440.9501