

**TOWN OF MEAD, COLORADO PLANNING COMMISSION
RESOLUTION NO. 04-PC-2022**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE TOWN OF MEAD,
COLORADO RECOMMENDING CONDITIONAL APPROVAL OF THE MEADOW
RIDGE SUBDIVISION PRELIMINARY PLAT**

WHEREAS, the Town of Mead (the “Town”) is authorized pursuant to Title 31, Article 23, C.R.S. and the Town of Mead Municipal Code (the “MMC”) to regulate the development of land, streets and utilities within the Town for the purposes of promoting the public health, safety, convenience, and the general welfare of the community; and

WHEREAS, pursuant to Section 16-4-60 of the MMC, following review of a preliminary plat by the Town’s Planning Commission (the “Planning Commission”), the Planning Commission is required to recommend, to the Board of Trustees, approval, approval with conditions, or denial of a preliminary plat; and

WHEREAS, Jennifer Carpenter with LAI Design Group (the “Applicant”), has submitted an application for the Meadow Ridge Subdivision Preliminary Plat (the “Preliminary Plat”) for the 299.55-acre property known as Meadow Ridge, generally located north of State Highway 66, and east of WCR 9 ½ (High Plains Blvd.), in the Town of Mead, County of Weld, State of Colorado, as more particularly described in **Exhibit 1**, attached hereto (the “Property”); and

WHEREAS, the Applicant is the authorized representative of CMR Holding Company, LLC; and

WHEREAS, the Preliminary Plat proposes to subdivide the property into 672 single-family lots, and provide the reservation of 12.5 ± acres for an elementary school site, within a 121.82-acre portion of the Property, in accordance with the Residential Single-Family (RSF-4) underlying zoning, and to subdivide 3 large lots totaling 25.67 acres, in accordance with the General Commercial (GC) underlying zoning, to be replatted at a later date; and

WHEREAS, in accordance with Section 16-4-60 of the MMC, the Planning Commission held a duly noticed public hearing on April 20, 2022 to consider the Preliminary Plat; and

WHEREAS, the Planning Commission has reviewed the proposed Preliminary Plat and other materials distributed to the Planning Commission by Town staff at or prior to the April 20, 2022 meeting and public hearing, and desires to recommend that the Board of Trustees proceed to approve the Meadow Ridge Subdivision Preliminary Plat subject to the conditions set forth in this Resolution.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the Town of Mead, Colorado, that:

Section 1. The Planning Commission finds that the public hearing on the proposed Preliminary Plat was conducted and concluded in accordance with Section 16-4-60 of the MMC.

Section 2. The Planning Commission recommends approval of the Preliminary Plat, in substantially the form attached hereto as **EXHIBIT 1**, based on a determination that the applicable review criteria set forth in Section 16-4-60(c)(1) through (6) of the MMC have been satisfied, subject to the following conditions of approval:

- a) The Applicant shall resolve and correct any technical issues as directed by Town staff prior to signature of Town officials on the Preliminary Plat; and
- b) The Applicant shall pay all fees and costs incurred by the Town and its consultants in reviewing and processing the Preliminary Plat application.

Section 3. Town staff shall distribute a copy of this Resolution to the Board of Trustees at or prior to the date at which the Board of Trustees is scheduled to consider the Preliminary Plat at a public hearing held for that purpose.

Section 4. Effective Date. This Resolution shall become effective immediately upon adoption.

INTRODUCED, READ, PASSED AND ADOPTED THIS 20TH DAY OF APRIL, 2022.

ATTEST:

**TOWN OF MEAD PLANNING
COMMISSION:**

By:

Jeannine Reed
Jeannine Reed, Secretary

Diana Kure
Diana Kure, Chair Pro Tem

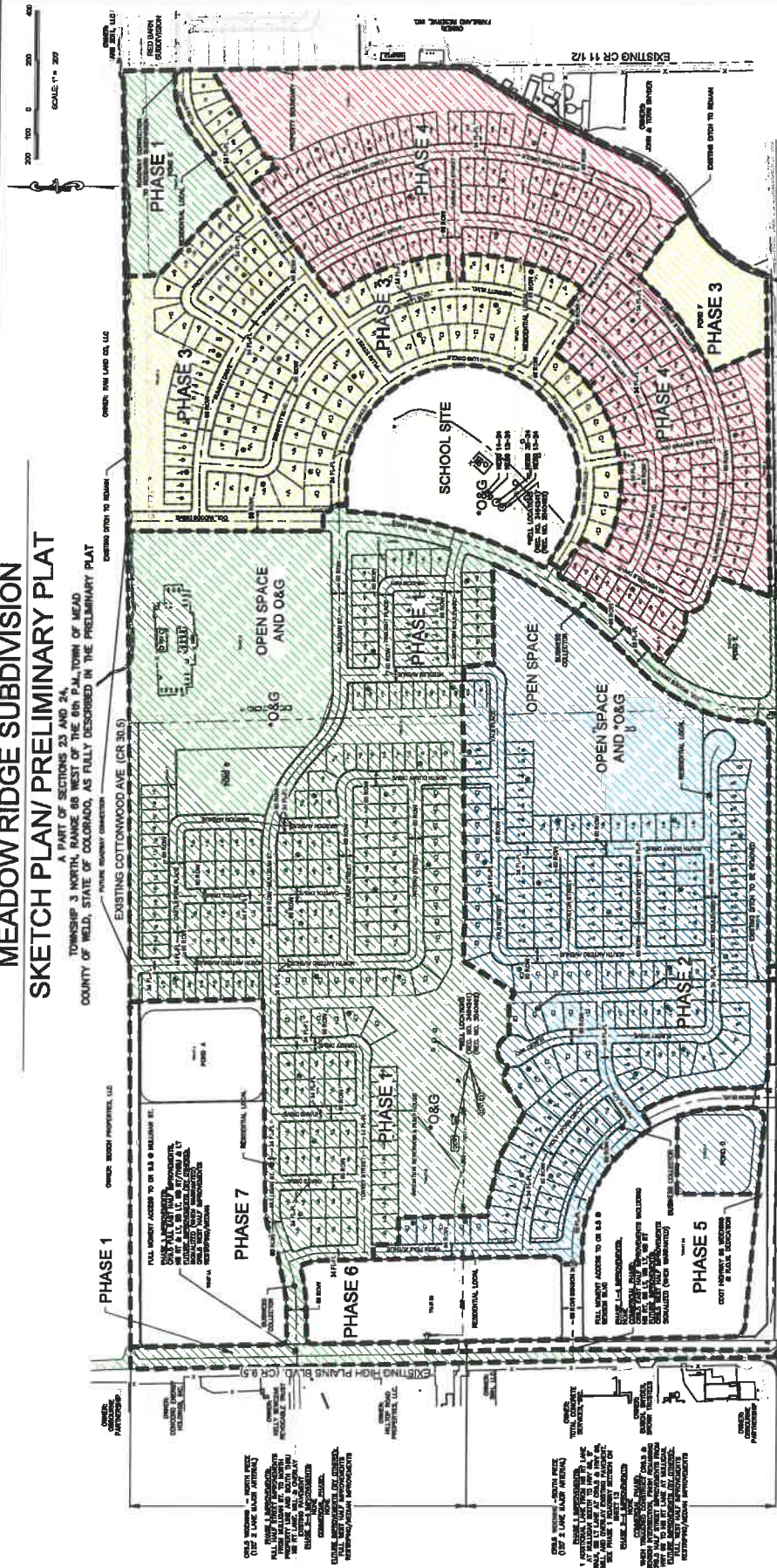


EXHIBIT 1

Meadow Ridge Subdivision Preliminary Plat
[Exhibit begins on the next page.]

MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

TOWNSHIP 3 NORTH, RANGE 68 WEST, COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT



UNIT SUMMARY TABLE

LOT TYPE	PHASE 1		PHASE 2		PHASE 3		PHASE 4		PHASE 5		PHASE 6		PHASE 7	
	LOT COUNT	LOT SQUARE FOOTAGE	LOT COUNT	LOT SQUARE FOOTAGE	LOT COUNT	LOT SQUARE FOOTAGE	LOT COUNT	LOT SQUARE FOOTAGE	LOT COUNT	LOT SQUARE FOOTAGE	LOT COUNT	LOT SQUARE FOOTAGE	LOT COUNT	LOT SQUARE FOOTAGE
57'	100	13,071	100	13,071	100	13,071	100	13,071	100	13,071	100	13,071	100	13,071
60'	100	13,071	100	13,071	100	13,071	100	13,071	100	13,071	100	13,071	100	13,071
65'	100	13,071	100	13,071	100	13,071	100	13,071	100	13,071	100	13,071	100	13,071
TOTAL	300	39,213	300	39,213	300	39,213	300	39,213	300	39,213	300	39,213	300	39,213

SETBACKS TABLE

LOT TYPE	MIN. FRONT	MIN. REAR	MIN. SIDE	MIN. CORNER
57'	10'	10'	5'	10'
60'	10'	10'	5'	10'
65'	10'	10'	5'	10'

CONSTRUCTION PHASE BOUNDARY

INDICATES CONSTRUCTION PHASE BOUNDARY

CP-# CONSTRUCTION PHASE NUMBER #

* SEE SHEET 14 FOR WELL STATUS

PHASE 1: 57' LOT

PHASE 2: 60' LOT

PHASE 3: 65' LOT

- NOTES:
- THIS PRELIMINARY PLAT SHEETS #1-11 FOR EASEMENTS TO BE OBTAINED.
 - PHASES 1-7 ARE NON-RESIDENTIAL AND WILL BE A MARKET RATE DEVELOPMENT.
 - SEE SHEET 13 & 14 FOR SUBPHASING.
 - PHASES 1-7 ARE TO BE DEVELOPED IN SEQUENCE AND APPROVAL AT FINAL PLATTING AS SET OUT IN A SUBDIVISION MAP.
 - ALL POWER LOCAL STREETS UNLESS OTHERWISE NOTED.

OWNER: WESTWOOD HOLDINGS, LLC

DESIGNER: WESTWOOD HOLDINGS, LLC

DATE: 04/11/2013

SCALE: AS SHOWN

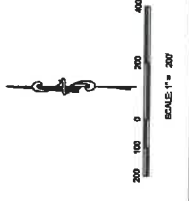
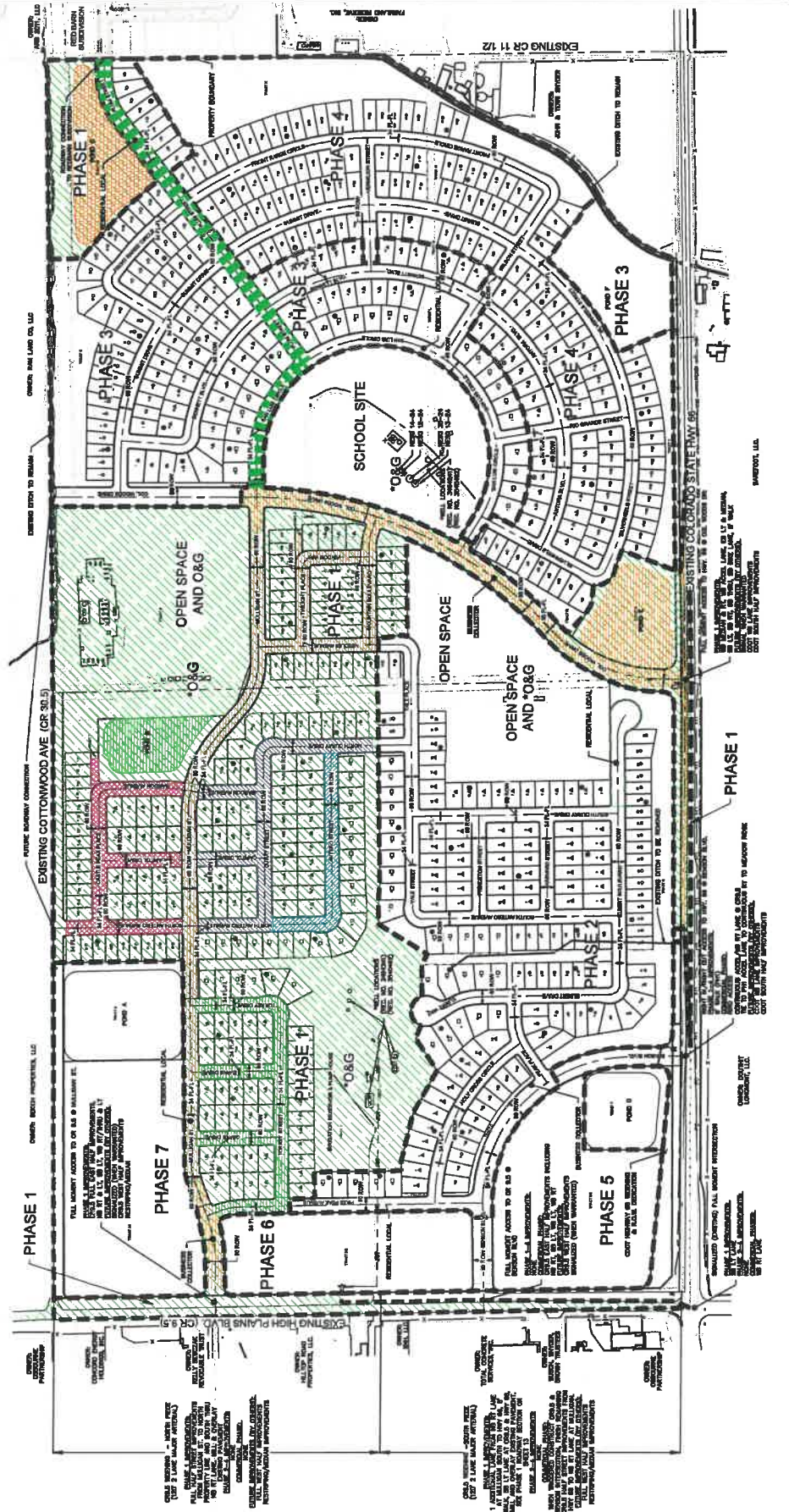
FILE NO: 20360

CALL 811 BEFORE YOU DIG
1-800-822-1987

UNCC

NO.	REVISION	DATE	BY	APP.	DATE
1					

MEADOW RIDGE SUBDIVISION
SKETCH PLAN / PRELIMINARY PLAN
A PART OF SECTIONS 23 AND 24
TOWNSHIP 3 NORTH, RANGE 68 NORTH, T10N, T10E
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAN



INDICATES PHASING

BOUNDARY
 ○ 50' LOT
 ▲ 60' LOT
 □ 65' LOT

PHASE 1

SUBPHASE	LOT SIZE
1	41 LOTS
2	47 LOTS
3	46 LOTS
4	28 LOTS
5	43 LOTS

SANITARY SEWER EXTENSION

PHASE 1 - LOT 1
ALL LOTS IN THIS PHASE SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN THE COMMON INTEREST DEVELOPMENT INSTRUMENT FOR THE MEADOW RIDGE SUBDIVISION.
THESE LOTS ARE TO BE DEVELOPED AS SINGLE-FAMILY RESIDENTIAL UNITS.
THESE LOTS SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN THE COMMON INTEREST DEVELOPMENT INSTRUMENT FOR THE MEADOW RIDGE SUBDIVISION.
THESE LOTS SHALL BE DEVELOPED AS SINGLE-FAMILY RESIDENTIAL UNITS.

PHASE 2 - LOT 1
ALL LOTS IN THIS PHASE SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN THE COMMON INTEREST DEVELOPMENT INSTRUMENT FOR THE MEADOW RIDGE SUBDIVISION.
THESE LOTS ARE TO BE DEVELOPED AS SINGLE-FAMILY RESIDENTIAL UNITS.
THESE LOTS SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN THE COMMON INTEREST DEVELOPMENT INSTRUMENT FOR THE MEADOW RIDGE SUBDIVISION.
THESE LOTS SHALL BE DEVELOPED AS SINGLE-FAMILY RESIDENTIAL UNITS.

PHASE 3 - LOT 1
ALL LOTS IN THIS PHASE SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN THE COMMON INTEREST DEVELOPMENT INSTRUMENT FOR THE MEADOW RIDGE SUBDIVISION.
THESE LOTS ARE TO BE DEVELOPED AS SINGLE-FAMILY RESIDENTIAL UNITS.
THESE LOTS SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN THE COMMON INTEREST DEVELOPMENT INSTRUMENT FOR THE MEADOW RIDGE SUBDIVISION.
THESE LOTS SHALL BE DEVELOPED AS SINGLE-FAMILY RESIDENTIAL UNITS.

PHASE 4 - LOT 1
ALL LOTS IN THIS PHASE SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN THE COMMON INTEREST DEVELOPMENT INSTRUMENT FOR THE MEADOW RIDGE SUBDIVISION.
THESE LOTS ARE TO BE DEVELOPED AS SINGLE-FAMILY RESIDENTIAL UNITS.
THESE LOTS SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN THE COMMON INTEREST DEVELOPMENT INSTRUMENT FOR THE MEADOW RIDGE SUBDIVISION.
THESE LOTS SHALL BE DEVELOPED AS SINGLE-FAMILY RESIDENTIAL UNITS.

PHASE 5 - LOT 1
ALL LOTS IN THIS PHASE SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN THE COMMON INTEREST DEVELOPMENT INSTRUMENT FOR THE MEADOW RIDGE SUBDIVISION.
THESE LOTS ARE TO BE DEVELOPED AS SINGLE-FAMILY RESIDENTIAL UNITS.
THESE LOTS SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN THE COMMON INTEREST DEVELOPMENT INSTRUMENT FOR THE MEADOW RIDGE SUBDIVISION.
THESE LOTS SHALL BE DEVELOPED AS SINGLE-FAMILY RESIDENTIAL UNITS.

PHASE 6 - LOT 1
ALL LOTS IN THIS PHASE SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN THE COMMON INTEREST DEVELOPMENT INSTRUMENT FOR THE MEADOW RIDGE SUBDIVISION.
THESE LOTS ARE TO BE DEVELOPED AS SINGLE-FAMILY RESIDENTIAL UNITS.
THESE LOTS SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN THE COMMON INTEREST DEVELOPMENT INSTRUMENT FOR THE MEADOW RIDGE SUBDIVISION.
THESE LOTS SHALL BE DEVELOPED AS SINGLE-FAMILY RESIDENTIAL UNITS.

PHASE 7 - LOT 1
ALL LOTS IN THIS PHASE SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN THE COMMON INTEREST DEVELOPMENT INSTRUMENT FOR THE MEADOW RIDGE SUBDIVISION.
THESE LOTS ARE TO BE DEVELOPED AS SINGLE-FAMILY RESIDENTIAL UNITS.
THESE LOTS SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN THE COMMON INTEREST DEVELOPMENT INSTRUMENT FOR THE MEADOW RIDGE SUBDIVISION.
THESE LOTS SHALL BE DEVELOPED AS SINGLE-FAMILY RESIDENTIAL UNITS.

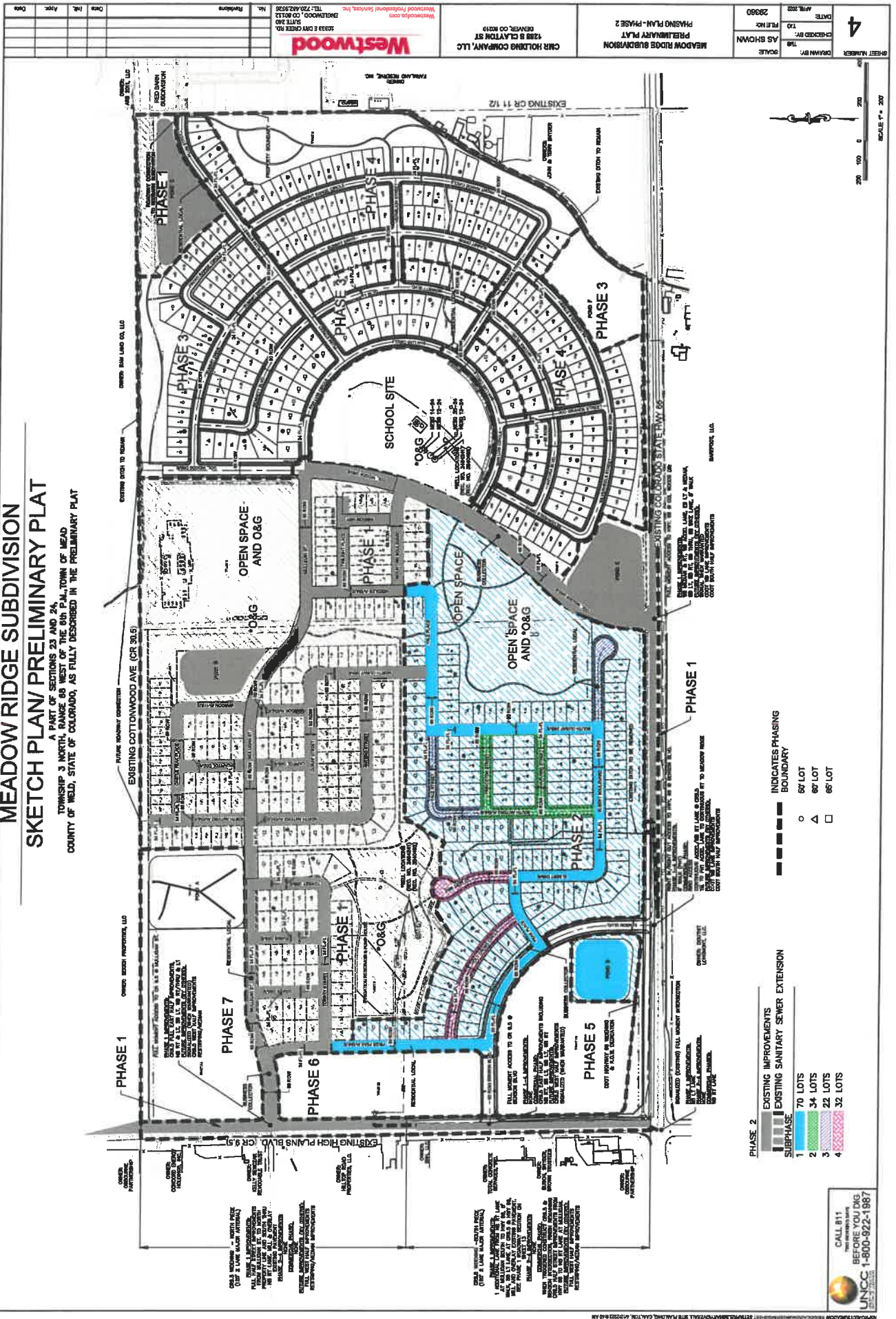
CALL 811
UNCC
MEMPHIS, TN
800-468-6000

UNCC
MEMPHIS, TN
800-468-6000

UNCC
MEMPHIS, TN
800-468-6000

MEADOW RIDGE SUBDIVISION SKETCH PLAN / PRELIMINARY PLAT

TOWNSHIP 3 NORTH, RANGE 68 WEST, SECTION 23 AND 24
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT



- PHASE 2**
- EXISTING IMPROVEMENTS
 - EXISTING SANITARY SEWER EXTENSION
 - SUBPHASE
 - 1 70 LOTS
 - 2 34 LOTS
 - 3 22 LOTS
 - 4 32 LOTS
- INDICATES PHASING BOUNDARY**
- 60' LOT
 - 60' LOT
 - 65' LOT

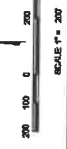
CALL 811
BEFORE YOU DIG
UNCC 1-800-922-1987

DATE	APR 2023
FILE NO.	20390
AS SHOWN	SCALE
DRAWN BY	
CHECKED BY	
SCALE	

MEADOW RIDGE SUBDIVISION
PRELIMINARY PLAT
PHASING PLAN - PHASE 2
CAR HOLDING COMPANY, LLC
1328 S CLAYTON ST
DENVER, CO 80219

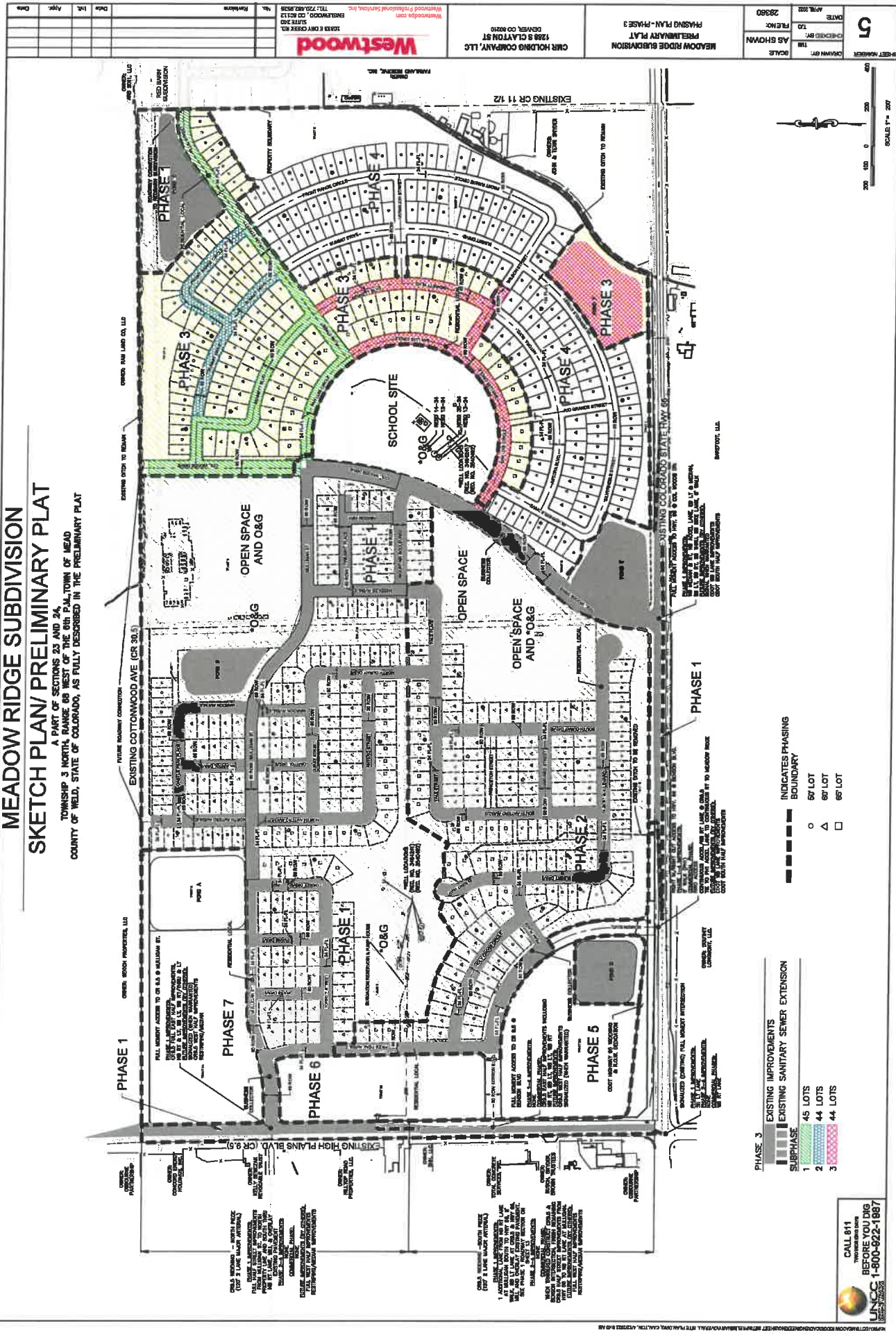
Westwood
Westwood Professional Services, Inc.
1033 S DIVISadero ST
ENGLEWOOD, CO 80155
TEL: 724-422-8228

DATE	APR 2023
FILE NO.	20390
AS SHOWN	SCALE
DRAWN BY	
CHECKED BY	
SCALE	



MEADOW RIDGE SUBDIVISION SKETCH PLAN/PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24,
TOWNSHIP 3 NORTH, RANGE 65 WEST OF THE 6TH MERIDIAN,
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT



PHASE 3

- EXISTING IMPROVEMENTS
- EXISTING SANITARY SEWER EXTENSION

SUBPHASE

- 1 45 LOTS
- 2 44 LOTS
- 3 44 LOTS

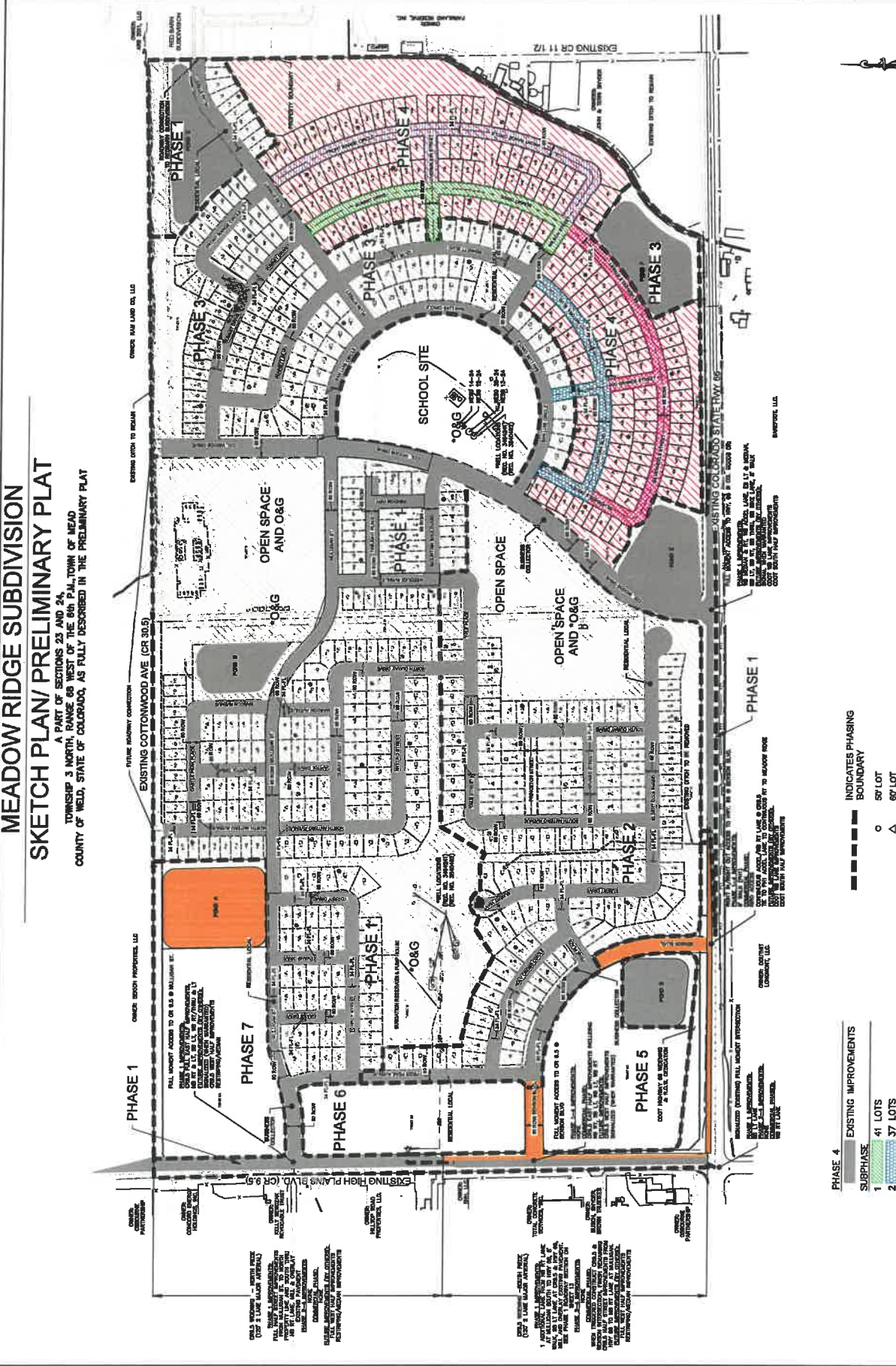
INDICATES PHASING BOUNDARY

- 50' LOT
- △ 60' LOT
- 65' LOT

CALL 811
BEFORE YOU DIG
UNCC
1-800-622-1867

MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

TOWNSHIP 3 NORTH, RANGE 68 WEST, COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

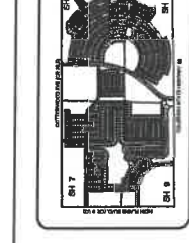


- PHASE 4 EXISTING IMPROVEMENTS**
- 1 41 LOTS
 - 2 37 LOTS
 - 3 47 LOTS
 - 4 51 LOTS
 - 5 PHASE 5-7 COMMERCIAL
- INDICATES PHASING BOUNDARY**
- 50' LOT
 - △ 60' LOT
 - 65' LOT

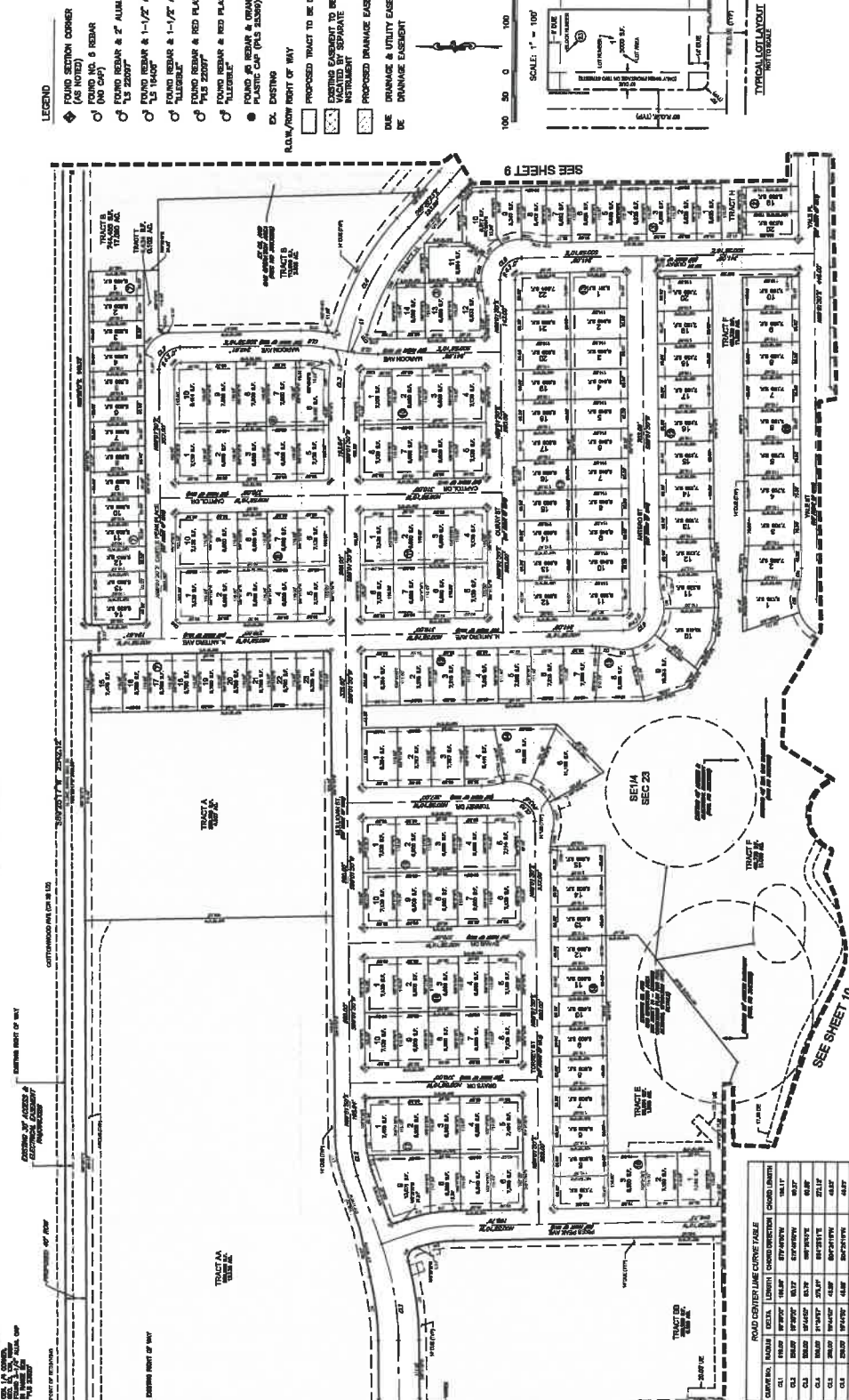
CALL 811
 BEFORE YOU DIG
 UNCC 1-800-922-1987

MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24,
TOWNSHIP 3 NORTH, RANGE 88 WEST OF THE 8th P.M., TOWN OF MEAD
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT



SEE SHEET 9



LEGEND

- FOUND SECTION CORNER
- FOUND NO. 1 REBAR (NO CAP)
- FOUND REBAR & 2" ALUM. CAP "S 2200"
- FOUND REBAR & 1-1/2" ALUM. CAP "S 1940"
- FOUND REBAR & 1-1/2" ALUM. CAP "ALUMINUM"
- FOUND REBAR & RED PLASTIC CAP "ALUMINUM"
- FOUND REBAR & RED PLASTIC CAP "ALUMINUM"
- FOUND REBAR & BRASS PLASTIC CAP (P&S 25360)
- D. EXISTING
- ALUM./NOV. RIGHT OF WAY
- PROPOSED TRACT TO BE DEDICATED
- EXISTING EASEMENT TO BE VACATED BY SEPARATE INSTRUMENT
- PROPOSED DRAINAGE EASEMENT (DE)
- DIE DRAINAGE & UTILITY EASEMENT
- DE DRAINAGE EASEMENT

SCALE: 1" = 100'

TYPICAL LOT LAYOUT

ROAD CENTER LINE TABLE

LINE NO.	DESCRIPTION	LENGTH	TYPE	PROPERTY	CON'T
1	SECTION 23	12.00	SECTION	UNCONVEYED	0.00
2	SECTION 24	12.00	SECTION	UNCONVEYED	0.00

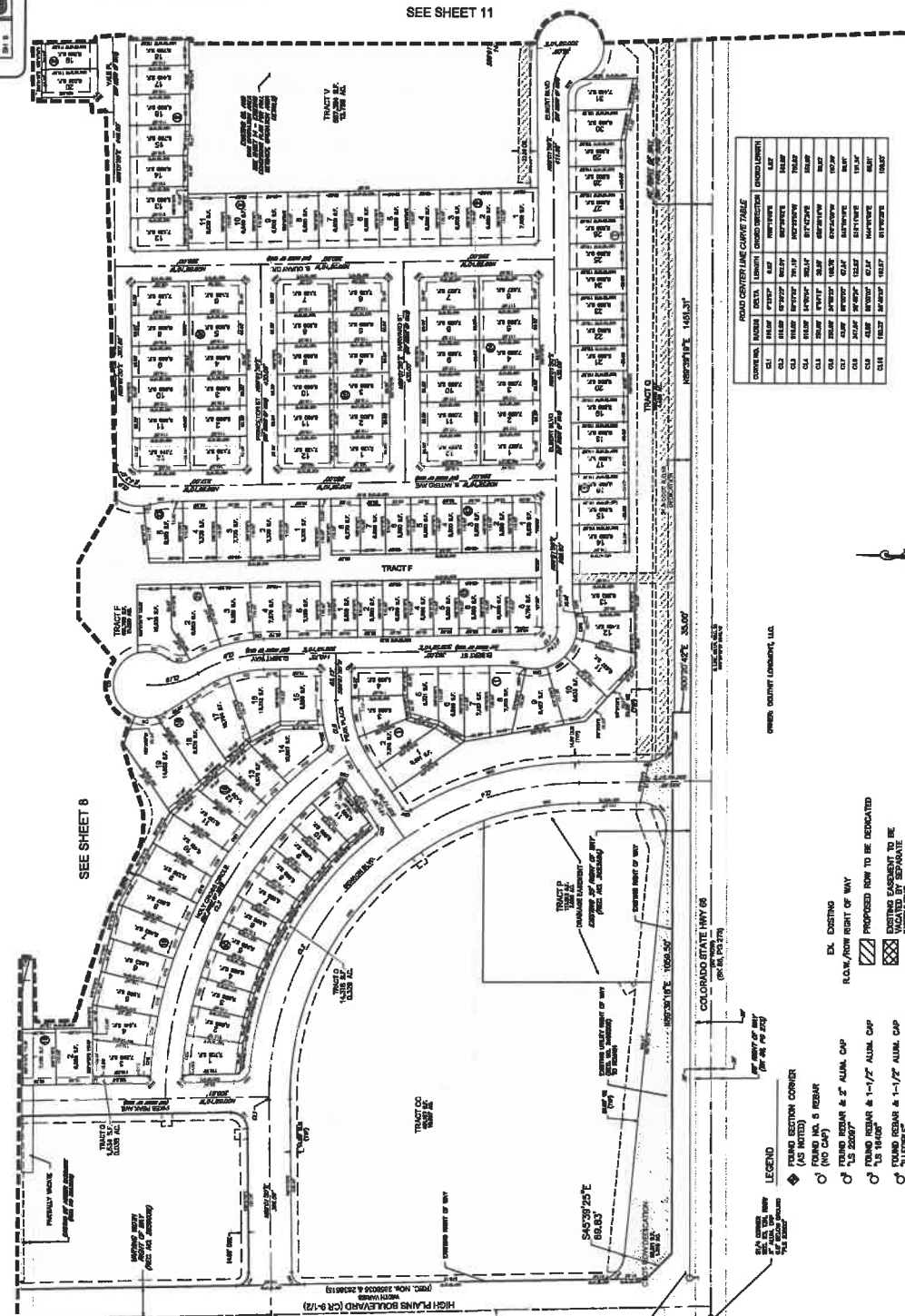
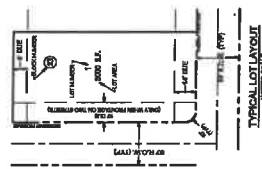
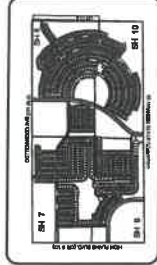
ROAD CENTER LINE CURVE TABLE

CURVE NO.	RADIUS	CHORD	LENGTH	CHORD ORIENTATION	CHORD LENGTH
C1	50.00'	50.00'	50.00'	270.00°	50.00'
C2	50.00'	50.00'	50.00'	270.00°	50.00'
C3	50.00'	50.00'	50.00'	270.00°	50.00'
C4	50.00'	50.00'	50.00'	270.00°	50.00'
C5	50.00'	50.00'	50.00'	270.00°	50.00'
C6	50.00'	50.00'	50.00'	270.00°	50.00'
C7	50.00'	50.00'	50.00'	270.00°	50.00'
C8	50.00'	50.00'	50.00'	270.00°	50.00'
C9	50.00'	50.00'	50.00'	270.00°	50.00'
C10	50.00'	50.00'	50.00'	270.00°	50.00'
C11	50.00'	50.00'	50.00'	270.00°	50.00'

CALL 811 BEFORE YOU DIG
 UNCONVEYED
 1-800-922-1987

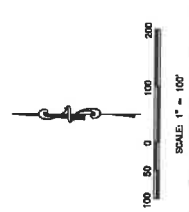
MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M., TOWN OF MEAD
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT



ROAD CENTER LINE CURVE TABLE

CURVE NO.	NUMBER	DATA	LENGTH	CHORD BEARING	CHORD LENGTH
C1	1	100.00	100.00	180.14	180.14
C2	1	100.00	100.00	180.14	180.14
C3	1	100.00	100.00	180.14	180.14
C4	1	100.00	100.00	180.14	180.14
C5	1	100.00	100.00	180.14	180.14
C6	1	100.00	100.00	180.14	180.14
C7	1	100.00	100.00	180.14	180.14
C8	1	100.00	100.00	180.14	180.14
C9	1	100.00	100.00	180.14	180.14
C10	1	100.00	100.00	180.14	180.14



- LEGEND
- EXISTING
 - PROPOSED ROW TO BE DEDICATED
 - EXISTING EASEMENT TO BE INSTALLED SEPARATE
 - PROPOSED DRAINAGE EASEMENT (DE)
 - PROPOSED TRACT TO BE DEDICATED
 - DE DRAINAGE & UTILITY EASEMENT
 - DE DRAINAGE EASEMENT
 - DE WATER EASEMENT
- FOUND EXISTING CORNER (AS NOTED)
- FOUND REPAIR & 2" ALUM. CAP (10" CAP)
 - FOUND REPAIR & 1-1/2" ALUM. CAP (1.5" HAZARDOUS)
 - FOUND REPAIR & 1-1/2" ALUM. CAP "LIEBLE"
 - FOUND REPAIR & RED PLASTIC CAP "1.5" 2000"
 - FOUND REPAIR & RED PLASTIC CAP "LIEBLE"
 - FOUND REPAIR & ORANGE PLASTIC CAP (PLS 25369)

CALL 811
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 UNICC
 1-800-922-1987

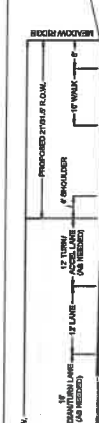
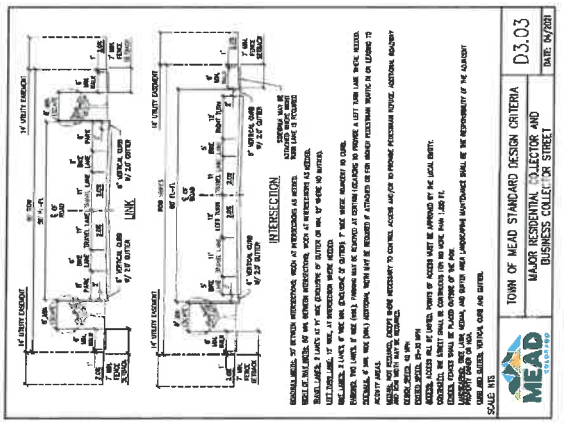
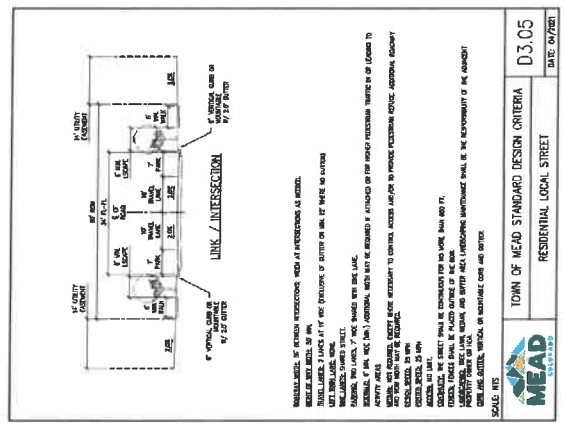
MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

TOWNSHIP 3 NORTH, RANGE 66 WEST, SECTION 23 AND 24, T13S R66W, THE 6TH PLAT, TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

DATE:	APR 2021
CHECKED BY:	AS SHOWN
FILE NO.:	28360
SCALE:	AS SHOWN

Westwood
1288 S CLAYTON ST
DENVER, CO 80202
Westwood.com
Westwood Professional Services, Inc.
TEL: 720.682.9226

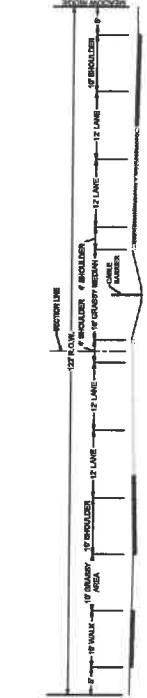
SHEET NUMBER:	13
DATE:	APR 2021
CHECKED BY:	AS SHOWN
FILE NO.:	28360
SCALE:	AS SHOWN



STATE HIGHWAY 66 IMPROVEMENTS BY MEADOW RIDGE



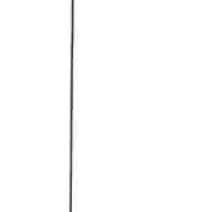
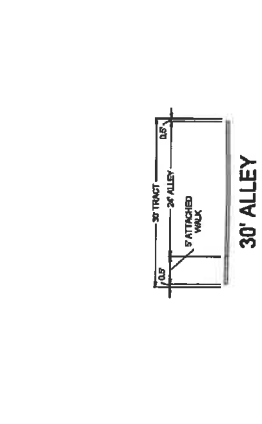
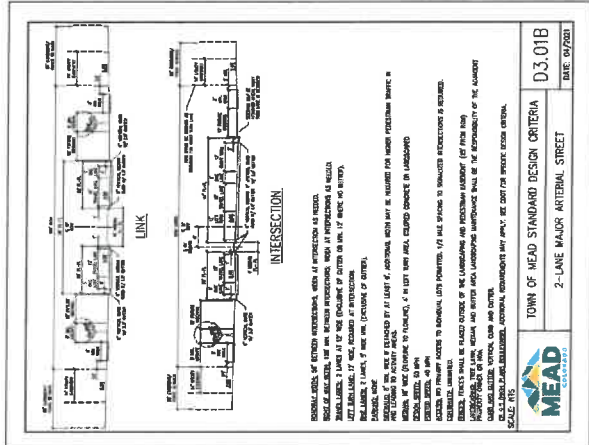
STATE HIGHWAY 66 - WEST OF COL WOODS DR. ULTIMATE IMPROVEMENTS (BY OTHERS) PER CDOT SH66 PEL STUDY (MARCH 2020)



STATE HIGHWAY 66 - EAST OF COL WOODS DR. FUTURE IMPROVEMENTS (BY OTHERS) PER CDOT SH66 PEL STUDY (MARCH 2020)



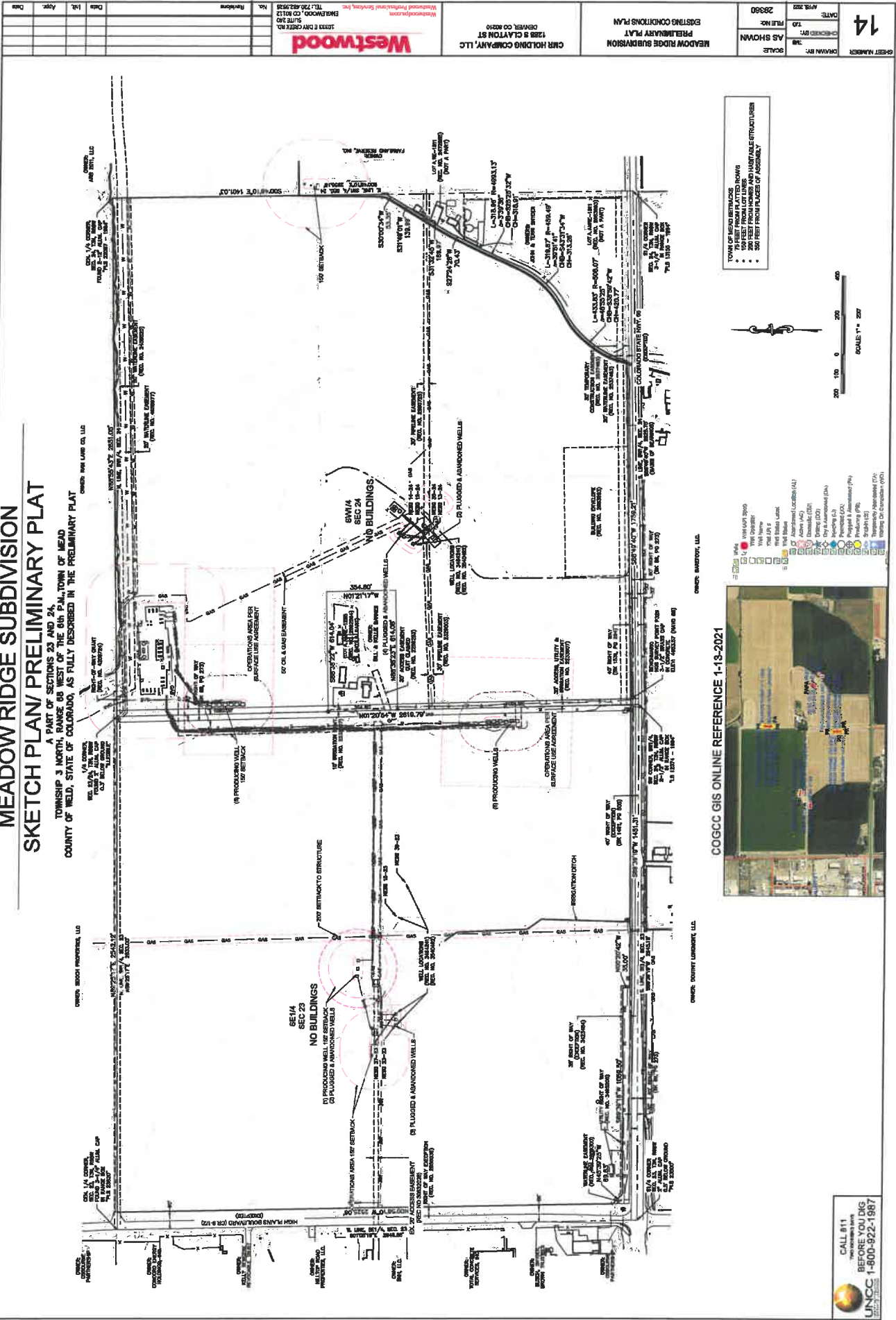
HIGH PLAINS BLVD (CR 9.5) PHASE 1 IMPROVEMENT



CALL 811
BEFORE YOU DIG
UNCC 1-800-922-1987

MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

TOWNSHIP 3 NORTH, A PART OF SECTIONS 23 AND 24,
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT



TOUR OF NEAR STRUCTURES

- 100 FEET FROM LOT LINES
- 200 FEET FROM LOT LINES
- 500 FEET FROM LINES OF ADJACENCY

SCALE: 1" = 200'

200 100 0 200 400

OWNER: SHERWOOD, LLC

OWNER: COUNTY UNDERWRITERS, LLC

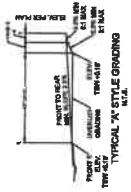
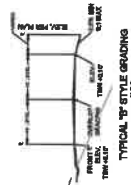
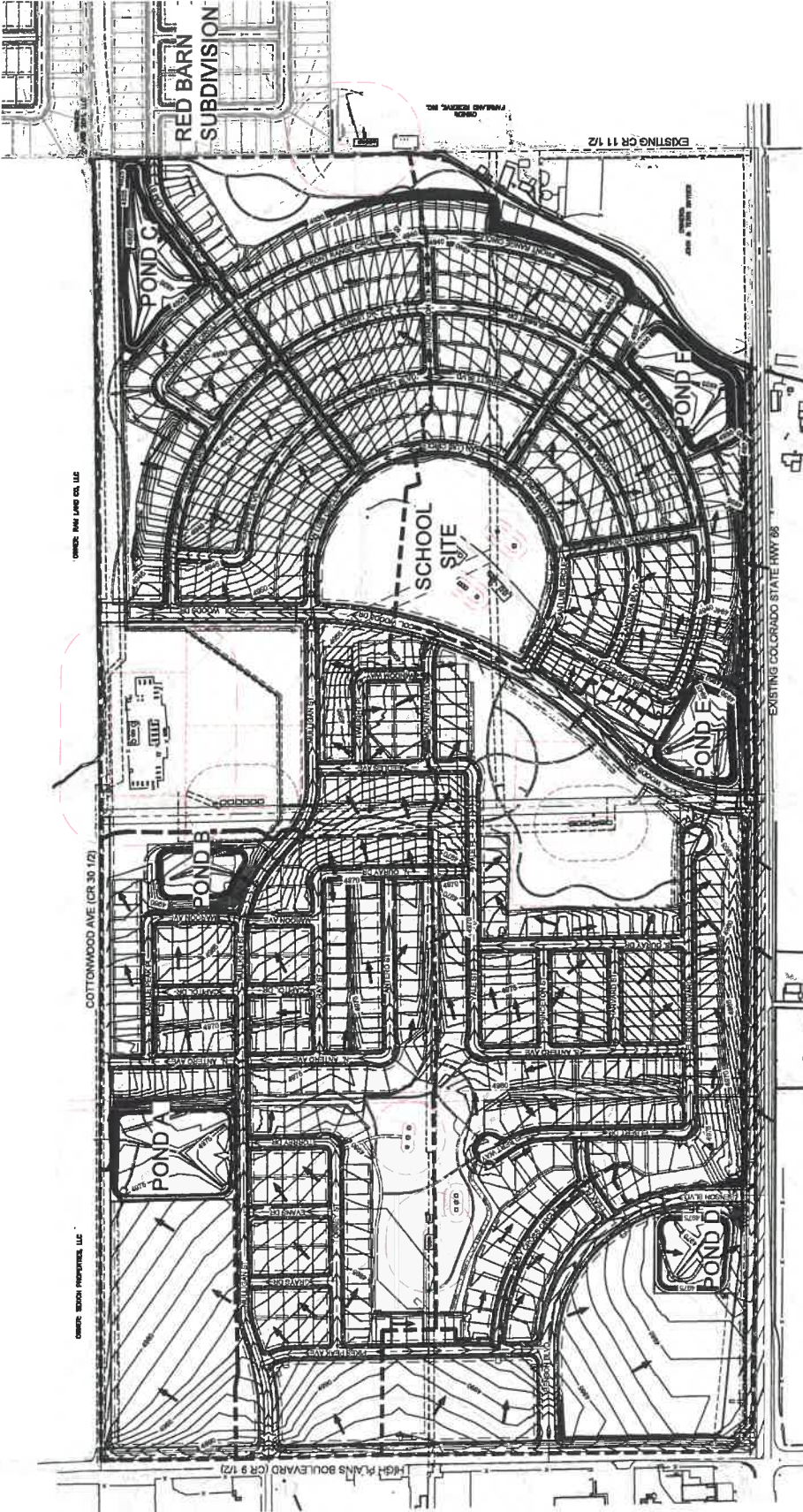
COGCC GIS ONLINE REFERENCE 1-13-2021

CALL 811
BEFORE YOU DIG
UNCC
1-800-922-1987

DATE: 04/15/2021	DATE: 04/15/2021	DATE: 04/15/2021	DATE: 04/15/2021
FILE NO: 28390	FILE NO: 28390	FILE NO: 28390	FILE NO: 28390
AS SHOWN	AS SHOWN	AS SHOWN	AS SHOWN
SCALE:	SCALE:	SCALE:	SCALE:
CHECKED BY:	CHECKED BY:	CHECKED BY:	CHECKED BY:
DRAWN BY:	DRAWN BY:	DRAWN BY:	DRAWN BY:
EXISTING CONDITIONS PLAN			
PRELIMINARY PLAT			
MEADOW RIDGE SUBDIVISION			
CRR HOLDING COMPANY, LLC			
1288 S CLAYTON ST DENVER, CO 80210			
Westwood.com			
Westwood Production Services, Inc.			
1288 S DIVISION ST DENVER, CO 80210			
No. Revision			
28390 1 0			
28390 1 1			
28390 1 2			
28390 1 3			
28390 1 4			
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28390 1 28			
28390 1 29			
28390 1 30			

MEADOW RIDGE SUBDIVISION SKETCH PLAN/PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24,
TOWNSHIP 3 NORTH, RANGE 65 WEST, COUNTY OF MEAD,
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT



CALL 811
BEFORE YOU DIG
UNCC 1-800-822-1867

16	CREAT NUMBER	MEADOW RIDGE SUBDIVISION PRELIMINARY PLAT PRELIMINARY OVERALL GRADING PLAN	CAR HOLDING COMPANY, LLC 1288 S CLAYTON ST DENVER, CO 80210	Westwood.com Westwood Professional Services, Inc. 20000 E CHERRY ST ENGLEWOOD, CO 80122 TEL: 726-8333	DATE: APR 2013 FILE NO: 28260	AS SHOWN SCALE	DRAWN BY: CHECKED BY: DATE
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MEADOW RIDGE SUBDIVISION SKETCH PLAN/PRELIMINARY PLAT

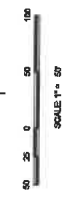
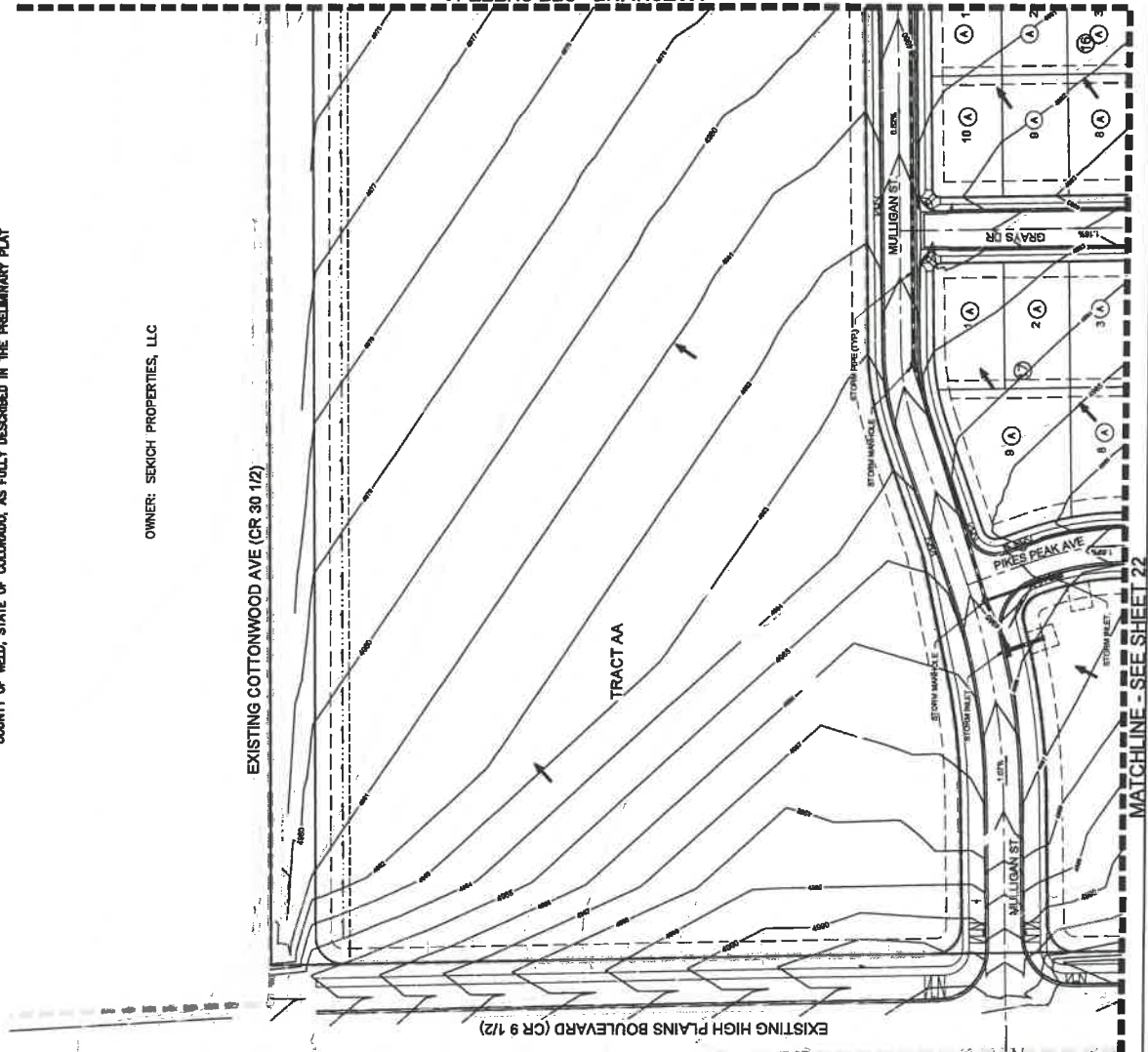
A PART OF SECTIONS 23 AND 24,
TOWNSHIP 3 NORTH, RANGE 65 WEST, COUNTY OF HERRING,
STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

OWNER: SEKICH PROPERTIES, LLC

EXISTING COTTONWOOD AVE (CR 30 112)

TRACT AA

EXISTING HIGH PLAINS BOULEVARD (CR 9 112)



LEGEND

BLOCK NUMBER	PROPOSED OVERHEAD PLUMBING
LOT TYPE	CENTERLINE
LOT NUMBER	RIGHT-OF-WAY
EXISTING PLANNED END	PROPERTY LINE
EXISTING STORM DRAIN	EDGE OF PAVEMENT
EXISTING STORM DRAIN	EXISTING 2' CONTOUR
PROPOSED LIGHT	EXISTING 1' CONTOUR
PROPOSED SIDEWALK	PROPOSED 2' CONTOUR
PROPOSED DRIVEWAY	PROPOSED 1' CONTOUR
PROPOSED DRIVEWAY	EXISTING STORM DRAIN
PROPOSED DRIVEWAY	SECTION LINE
PROPOSED DRIVEWAY	PLUMBING BOUNDARY
PROPOSED DRIVEWAY	PROPOSED SLOPE & DIRECTION

ABBREVIATIONS

ANGLE DIFFERENCE	PL	PROPERTY LINE
ELEVATION	PVC	PERMANENT COLORADO
FLOW LINE	RHS	RIDGE AND GUTTER
CONCRETE BOX	CL	CULVERT
CONCRETE PIPE	CON	CONCRETE
CONCRETE PIPE	CON	CONCRETE
CONCRETE PIPE	CON	CONCRETE
CONCRETE PIPE	CON	CONCRETE
CONCRETE PIPE	CON	CONCRETE
CONCRETE PIPE	CON	CONCRETE
CONCRETE PIPE	CON	CONCRETE
CONCRETE PIPE	CON	CONCRETE
CONCRETE PIPE	CON	CONCRETE

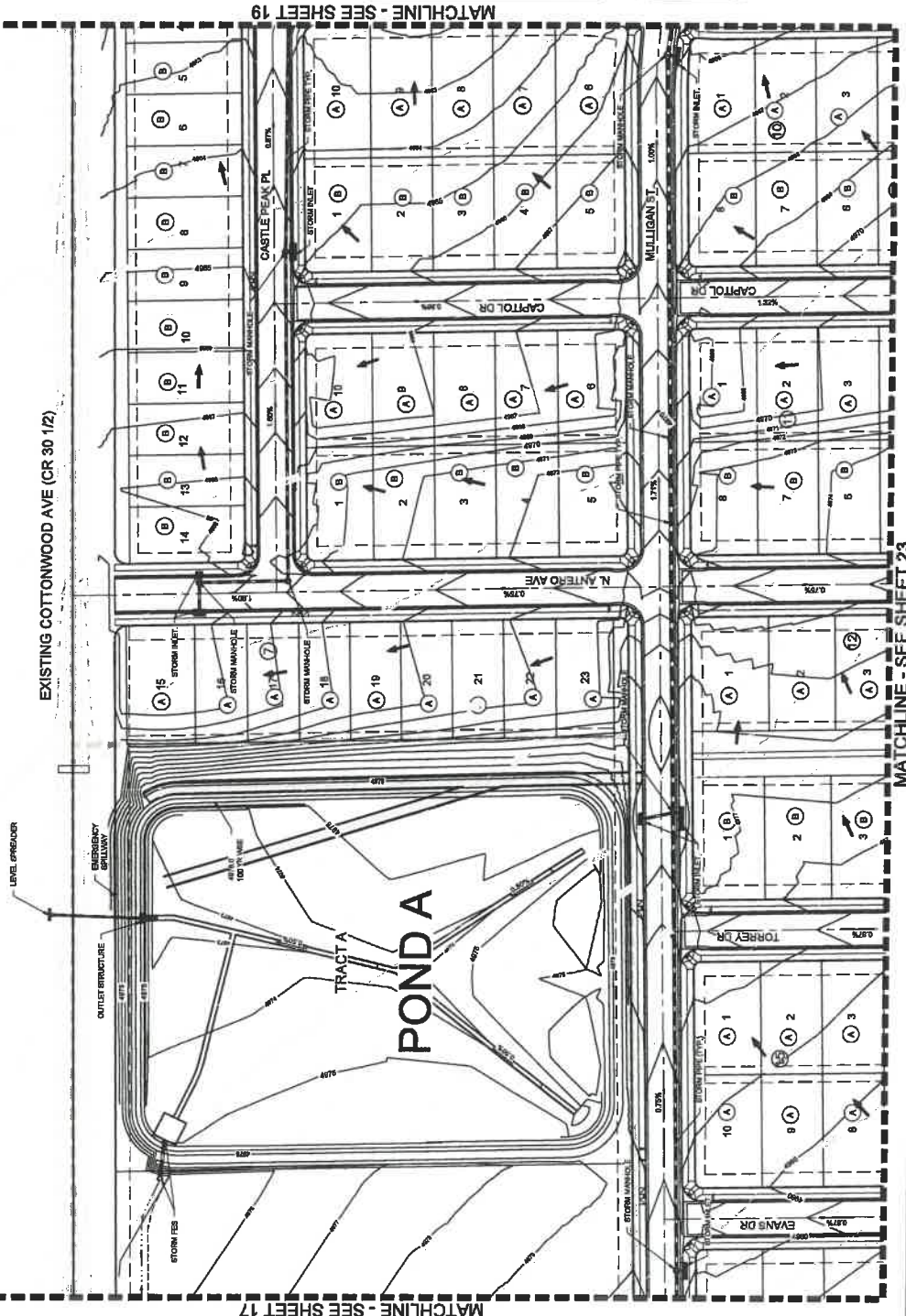
17
UNCCC 1-800-922-1987
CALL 811
BEFORE YOU DIG

DATE	APR 2023	23060
CHANGED BY	TJD	FILE NO.
SCALE	AS SHOWN	PRELIMINARY GRADING AND DRAINAGE PLAN
DRAWN BY		MEADOW RIDGE SUBDIVISION PRELIMINARY PLAT
CHECKED BY		CMR HOLDING COMPANY, LLC 1328 S CLAYTON ST DENVER, CO 80210
NO.	Revision	Westwood Professional Services, Inc. 1233 S KERR ST DENVER, CO 80210 TEL: 720.462.2522
DATE	Rev.	DATE

**MEADOW RIDGE SUBDIVISION
SKETCH PLAN/ PRELIMINARY PLAT**
A PART OF SECTIONS 23 AND 24,
TOWNSHIP 3 NORTH,
RANGE 66 WEST OF THE 6TH P.M., TOWN OF MEAD,
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

OWNER: SEKICH PROPERTIES, LLC

EXISTING COTTONWOOD AVE (CR 30 1/2)



LEGEND

Ⓢ	BLOCK NUMBER	PROPOSED OVERLAND FLOW
Ⓛ	LOT TYPE	CENTRALINE
Ⓣ	LOT NUMBER	ROBIC/CHIPPY
Ⓜ	EXISTING PLANNED BMD	PRIORITY LINE
Ⓝ	SECTION	EDGE OF PAVEMENT
Ⓜ	EXISTING STORM DRAIN	EXISTING 8\"/>
Ⓜ	EXISTING STORM DRAIN MANHOLE	EXISTING 1\"/>
Ⓜ	PROPOSED LIGHT	EXISTING 8\"/>
Ⓜ	PROPOSED GROWALK	PROPOSED 1\"/>
Ⓜ	PROPOSED SIDEWALK	PROPOSED 1\"/>
Ⓜ	RAMP	EXISTING STORM DRAIN
Ⓜ	EXISTING ELEVATION	SECTION LINE
Ⓜ	PROPOSED DESIGN ELEVATION	FIELD BOUNDARY
Ⓜ	10:00	PROPOSED SLOPE & DIRECTION
Ⓜ	Ⓜ	1.0% DIRECTION

ABBREVIATIONS

AL	ANGLE DEGREE	PVC	POLYVINYL CHLORIDE
EL	ELEVATION	RCC	REINFORCED CONCRETE BOX
FL	FLOW	RCP	REINFORCED CONCRETE PIPE
FL	FLUORINE	RIB	RIBBON
FS	FIELD VERIFY	SO	STORM DRAIN
HP	HIGH POINT	STA	STATION LINE
HP	HIGH POINT	TCP	TOP OF PIPE
LP	LOW POINT	W	WATER SURFACE ELEVATION
UP	UNDERPASS	W.T.A.	WATER SURFACE ELEVATION
W.T.A.	WATER SURFACE ELEVATION		

MATCHLINE - SEE SHEET 17

MATCHLINE - SEE SHEET 19

MATCHLINE - SEE SHEET 23

DATE: 04/20/22
CHECKED BY: [blank]
SCALE: AS SHOWN
DRAWN BY: 23930
PRELIMINARY GRADING AND DRAINAGE PLAN
PRELIMINARY PLAT
MEADOW RIDGE SUBDIVISION

CRR HOLDING COMPANY, LLC
1288 S CLAYTON ST
DENVER, CO 80210

Westwood
Westwood Professional Services, Inc.
10533 E KIMBURY AVE SUITE 200
DENVER, CO 80231
TEL: 720.833.8228

No.	Revision	CHK	APP	DATE

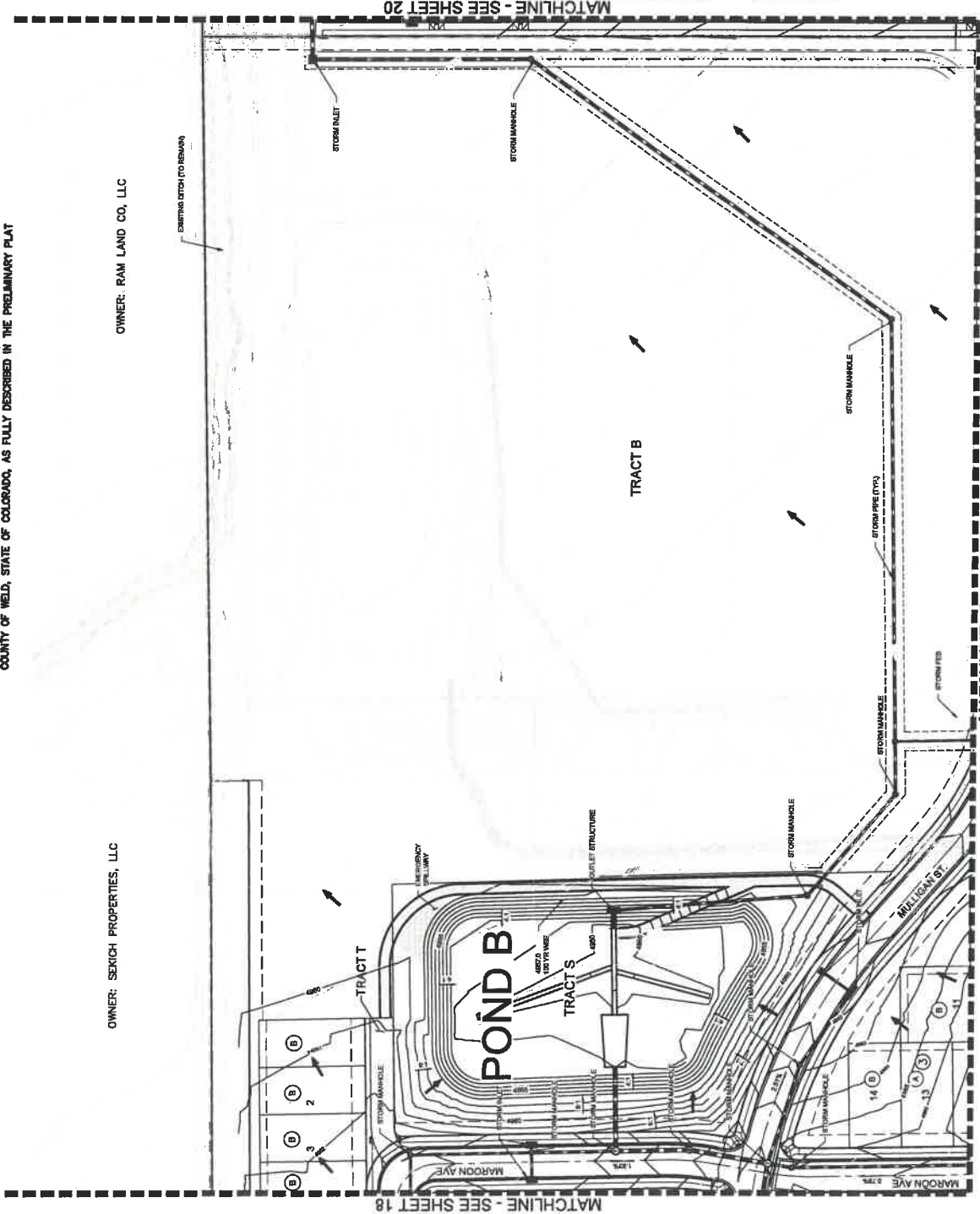
18
CALL 811
BEFORE YOU DIG
UNCC
1-800-822-1887

MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24,
TOWNSHIP 3 NORTH, RANGE 69 WEST OF THE 6th P.M. TOWN OF HEAD,
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

OWNER: SEKICH PROPERTIES, LLC

OWNER: RAM LAND CO, LLC



MATCHLINE - SEE SHEET 18

MATCHLINE - SEE SHEET 20

MATCHLINE - SEE SHEET 24

LEGEND

②	BLOCK NUMBER	PROPOSED OVERLAND FLOW
④	LOT TYPE	CENTERLINE
⑤	LOT NUMBER	RIGHT-OF-WAY
⑥	EXISTING PLANNED END SECTION	PROPERTY LINE
⑦	EXISTING STORM DRAIN INLET	EDGE OF PAVEMENT
⑧	EXISTING STORM DRAIN MANHOLE	EXISTING 2' CONTOUR
⑨	EXISTING LIGHT POLE	EXISTING 1' CONTOUR
⑩	PROPOSED SIDEWALK RAMP	PROPOSED 1' CONTOUR
⑪	EXISTING ELEVATION	EXISTING STORM DRAIN SECTION LINE
⑫	PROPOSED ELEVATION	EXISTING STORM DRAIN SECTION LINE
⑬	PROPOSED FINISHED GRADE	FIELD BOUNDARY
⑭	PROPOSED FINISHED GRADE	PROPOSED SLOPE & DIRECTION
⑮	PROPOSED FINISHED GRADE	1.0% DIRECTION

ABBREVIATIONS

AD	ADJACENT PROPERTY	PL	PROPERTY LINE
BL	ELEVATION	PLC	POLYURETHANE CONCRETE CURB
CL	CENTERLINE	PC	CONCRETE CURB
FL	FLOWLINE	PCP	REINFORCED CONCRETE PIPE
FO	FLOWLINE	SD	STORM DRAIN
GL	GROUND LEVEL	SL	STORM LINE
HP	HIGH POINT	STA	STATION
LF	LINEAR FEET	T.O.P.	TOP OF PIPE
MA	MANHOLE	WSE	WATER SURFACE ELEVATION
MAI	MANHOLE INLET		
M.T.S.	NOT TO SCALE		



DATE: APR 2022	FILE NO: 20390	PROJECT: MEADOW RIDGE SUBDIVISION PRELIMINARY PLAT
DESIGNED BY: [Redacted]	SCALE: AS SHOWN	CLIENT: CAR HOLDING COMPANY, LLC
CHECKED BY: [Redacted]		1228 S CLAYTON ST DENVER, CO 80210
DRAWN BY: [Redacted]		Westwood Professional Services, Inc. 1800 S WYOMING ST DENVER, CO 80210 TEL: 720.862.9525
DATE: [Redacted]	APP: [Redacted]	DWG: [Redacted]

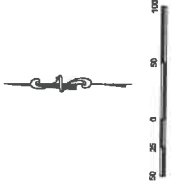
CALL 811
for non-emergency
reporting
UNCC 1-800-922-1887

MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24,
TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH PAAL, TOWN OF MEAD,
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

OWNER: RAM LAND CO, LLC

EXISTING SPLIT (TO REMAIN)



LEGEND

②	BLOCK NUMBER	PROPOSED OVERLAND FLOW
①	LOT NUMBER	CONTIGUOUS
⑤	EXISTING PLACED SDO SECTION	RIGHT-OF-WAY
④	EXISTING STORM DRAIN MARKING	PROPERTY LINE
③	PROPOSED LIGHT POLE	EDGE OF PAVEMENT
②	PROPOSED SIDEWALK	EXISTING 6" CONTOUR
①	PROPOSED SIDEWALK	EXISTING 5" CONTOUR
①	PROPOSED SIDEWALK	PROPOSED 6" CONTOUR
①	PROPOSED SIDEWALK	PROPOSED 5" CONTOUR
①	PROPOSED SIDEWALK	EXISTING STORM DRAIN
①	PROPOSED SIDEWALK	SECTION LINE
①	PROPOSED SIDEWALK	FIELD BOUNDARY
①	PROPOSED SIDEWALK	PROPOSED SLOPE 6%
①	PROPOSED SIDEWALK	PROPOSED SLOPE 5%
①	PROPOSED SIDEWALK	PROPOSED SLOPE 4%
①	PROPOSED SIDEWALK	PROPOSED SLOPE 3%
①	PROPOSED SIDEWALK	PROPOSED SLOPE 2%
①	PROPOSED SIDEWALK	PROPOSED SLOPE 1%
①	PROPOSED SIDEWALK	PROPOSED SLOPE 0%

ABBREVIATIONS

①	ANALYSIS REFERENCE ELEVATION
②	PROPOSED SIDEWALK
③	PROPOSED SIDEWALK
④	PROPOSED SIDEWALK
⑤	PROPOSED SIDEWALK
⑥	PROPOSED SIDEWALK
⑦	PROPOSED SIDEWALK
⑧	PROPOSED SIDEWALK
⑨	PROPOSED SIDEWALK
⑩	PROPOSED SIDEWALK
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㊿	PROPOSED SIDEWALK

CALL 811
BEFORE YOU DIG
1-800-922-1887

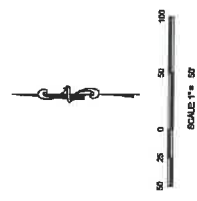
DATE: APR 2023	SCALE: AS SHOWN	PROJECT: MEADOW RIDGE SUBDIVISION PRELIMINARY PLAT	CLIENT: CRR HOLDING COMPANY, LLC 1288 S CLAYTON ST DENVER, CO 80202	DESIGNER: WESTWOOD ENGINEERING SERVICES, INC. 1833 S IOWA ST DENVER, CO 80202
FILE NO: 23930	SCALE: AS SHOWN	PROJECT: MEADOW RIDGE SUBDIVISION PRELIMINARY PLAT	CLIENT: CRR HOLDING COMPANY, LLC 1288 S CLAYTON ST DENVER, CO 80202	DESIGNER: WESTWOOD ENGINEERING SERVICES, INC. 1833 S IOWA ST DENVER, CO 80202
DATE: APR 2023	SCALE: AS SHOWN	PROJECT: MEADOW RIDGE SUBDIVISION PRELIMINARY PLAT	CLIENT: CRR HOLDING COMPANY, LLC 1288 S CLAYTON ST DENVER, CO 80202	DESIGNER: WESTWOOD ENGINEERING SERVICES, INC. 1833 S IOWA ST DENVER, CO 80202

MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24,
TOWNSHIP 3 NORTH, RANGE 65 WEST OF THE 6TH P.M. TOWN OF MEAD
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

OWNER: RAM LAND CO, LLC

OWNER:
ARB 2011, LLC

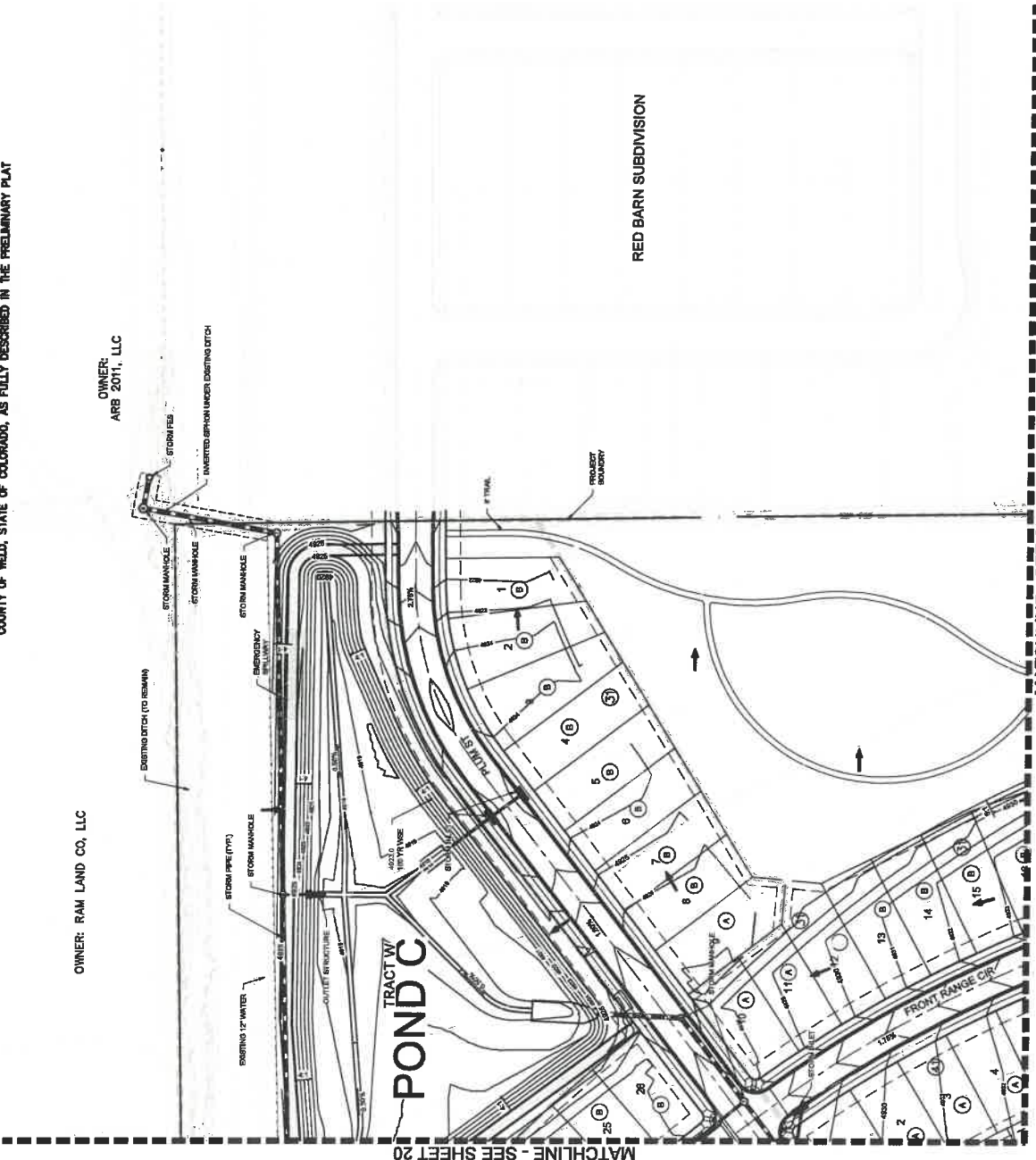


LEGEND

②	BLOCK NUMBER	→	PROPOSED OVERLAND FLOW
①	LOT TYPE	—	CONTIGUOUS
④	LOT NUMBER	—	RIGHT-OF-WAY
⑤	EXISTING PLASSED EVD SECTION	—	PROPERTY LINE
⑥	EXISTING STORM DRAIN	—	EDGE OF PAVEMENT
⑦	EXISTING STORM DRAIN MANHOLE	—	EXISTING P. CONTOUR
⑧	PROPOSED LIGHT	—	EXISTING P. CONTOUR
⑨	PROPOSED BENCHMARK	—	PROPOSED P. CONTOUR
⑩	PROPOSED BENCHMARK	—	PROPOSED P. CONTOUR
⑪	PROPOSED ELEVATION	—	EXISTING STORM DRAIN SECTION LINE
⑫	PROPOSED ELEVATION	—	EXISTING STORM DRAIN SECTION LINE
⑬	PROPOSED ELEVATION	—	PROPOSED S. OF P. A. DIRECTION
⑭	PROPOSED ELEVATION	—	PROPOSED S. OF P. A. DIRECTION
⑮	PROPOSED ELEVATION	—	PROPOSED S. OF P. A. DIRECTION
⑯	PROPOSED ELEVATION	—	PROPOSED S. OF P. A. DIRECTION
⑰	PROPOSED ELEVATION	—	PROPOSED S. OF P. A. DIRECTION
⑱	PROPOSED ELEVATION	—	PROPOSED S. OF P. A. DIRECTION
⑲	PROPOSED ELEVATION	—	PROPOSED S. OF P. A. DIRECTION
⑳	PROPOSED ELEVATION	—	PROPOSED S. OF P. A. DIRECTION
㉑	PROPOSED ELEVATION	—	PROPOSED S. OF P. A. DIRECTION
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㉓	PROPOSED ELEVATION	—	PROPOSED S. OF P. A. DIRECTION
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㊾	PROPOSED ELEVATION	—	PROPOSED S. OF P. A. DIRECTION
㊿	PROPOSED ELEVATION	—	PROPOSED S. OF P. A. DIRECTION

ABBREVIATIONS

∠	ANGLE	REFERENCE
EL	ELEVATION	
FC	FLOWLINE	
FL	FLOWLINE	
FP	FLOWLINE POINT	
HP	HIGH POINT	
LP	LOW POINT	
LY	LINEAR YIELD	
MA	MANHOLE	
MB	MANHOLE	
MTA	NOT TO SCALE	
PVC	POLYVINYL CHLORIDE	
RC	REINFORCED CONCRETE	
RCB	REINFORCED CONCRETE BOX	
RP	REINFORCED CONCRETE PIPE	
SD	STORM DRAIN	
SDM	STORM DRAIN MANHOLE	
STA	STATION	
T.O.P.	TOP OF PIPE	
W	WATER SURFACE ELEVATION	



21
 CALL 811
 BEFORE YOU DIG
 UNCCC 1-800-922-1987

DATE: APR 2012	FILE NO: 28360	SCALE: AS SHOWN	DRAWN BY: [blank]
CHECKED BY: [blank]	DESIGNED BY: [blank]	PROJECT: MEADOW RIDGE SUBDIVISION PRELIMINARY PLAT	CLIENT: CNR HOLDING COMPANY, LLC
NO. [blank]	DATE: 12/28/2011	PROJECT: 1228 S CLAYTON ST DENVER, CO 80202	DESIGNED BY: [blank]
FILE NO: [blank]	DATE: [blank]	PROJECT: [blank]	CLIENT: [blank]
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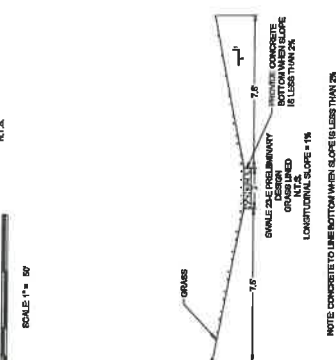
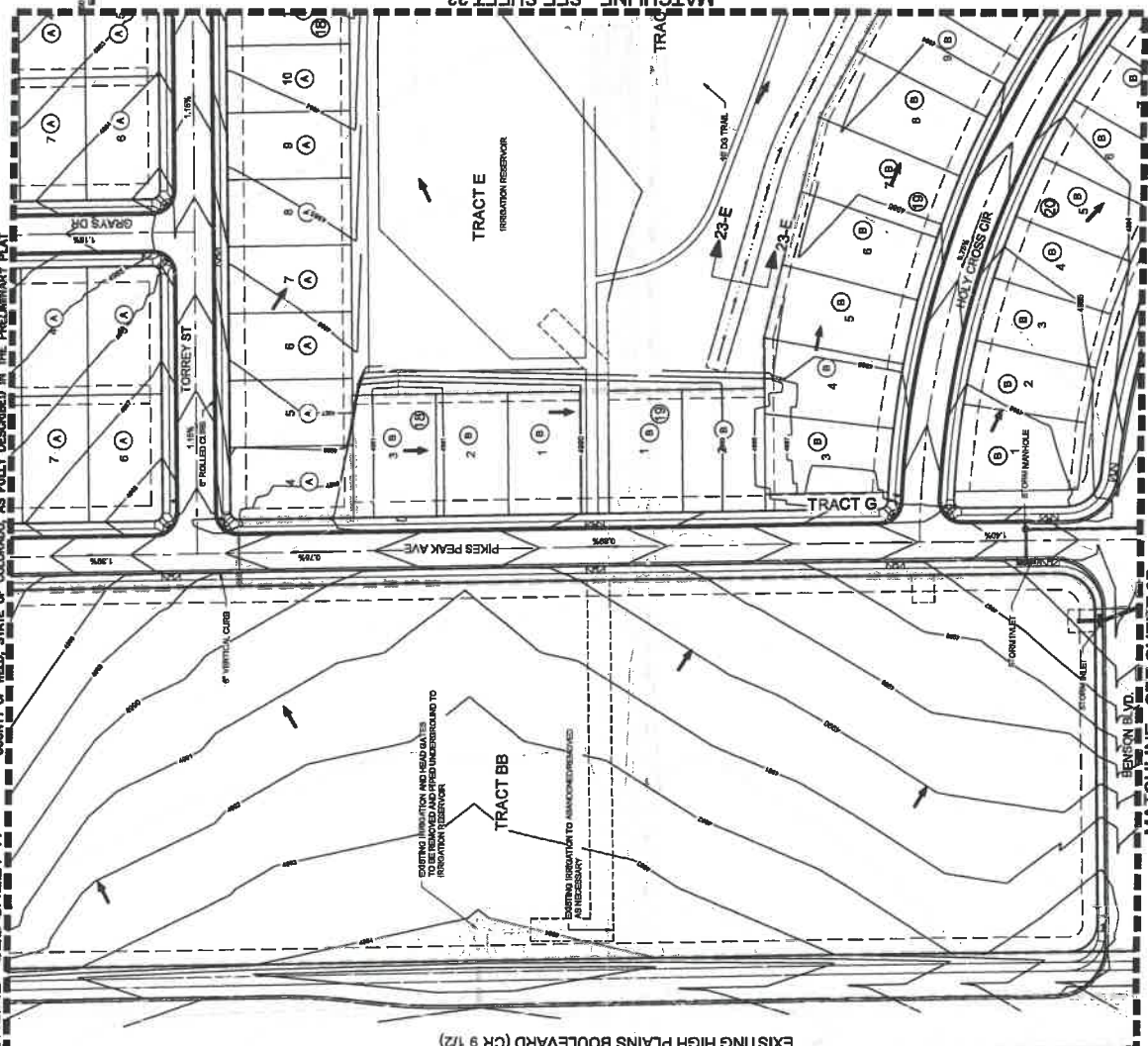
Westwood
 Westwood Professional Services, Inc.
 10233 E CNR CIRCLE, SUITE 200
 DENVER, CO 80231
 TEL: 720.825.8233

MEADOW RIDGE SUBDIVISION SKETCH PLAN/PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24, TOWNSHIP 3 NORTH, RANGE 66 WEST OF THE 10TH PRINCIPAL MERIDIAN, COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

MATCHLINE - SEE SHEET 17

MATCHLINE - SEE SHEET 27



NOTE: CONCRETE TO UNDERLIE WHERE SLOPE IS LESS THAN 2%

LEGEND

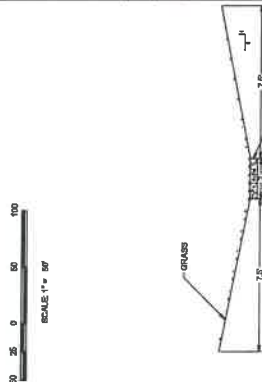
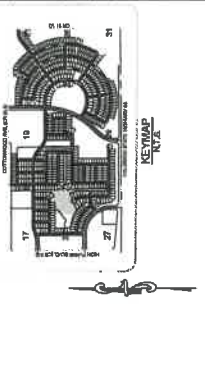
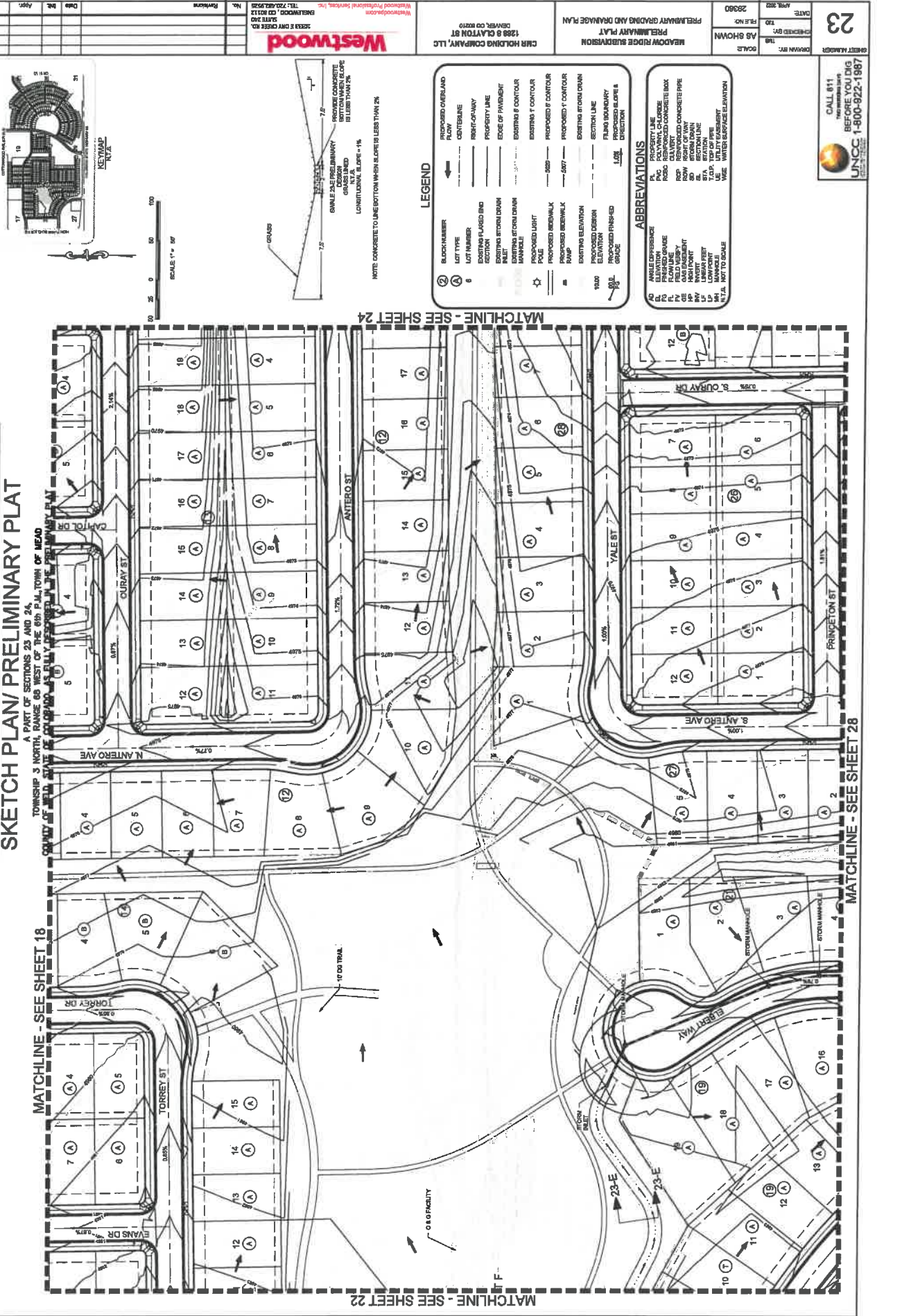
②	PROPOSED OVERLAND FLOW	—	PROPOSED 1' CONTOUR
①	CENTRAL LINE	—	PROPOSED 2' CONTOUR
④	RIGHT-OF-WAY	—	PROPOSED 3' CONTOUR
⑤	PROPERTY LINE	—	PROPOSED 4' CONTOUR
⑥	EXISTING FLARED END SECTION	—	PROPOSED 5' CONTOUR
⑦	EXISTING STORM DRAIN	—	PROPOSED 6' CONTOUR
⑧	EXISTING STORM DRAIN MANHOLE	—	PROPOSED 7' CONTOUR
⑨	PROPOSED GROUNDWATER	—	PROPOSED 8' CONTOUR
⑩	PROPOSED GROUNDWATER RAMP	—	PROPOSED 9' CONTOUR
⑪	PROPOSED DESIGN ELEVATION	—	PROPOSED 10' CONTOUR
⑫	PROPOSED FINISHED GRADE	—	PROPOSED 11' CONTOUR
⑬	PROPOSED FINISHED GRADE	—	PROPOSED 12' CONTOUR
⑭	PROPOSED FINISHED GRADE	—	PROPOSED 13' CONTOUR
⑮	PROPOSED FINISHED GRADE	—	PROPOSED 14' CONTOUR
⑯	PROPOSED FINISHED GRADE	—	PROPOSED 15' CONTOUR
⑰	PROPOSED FINISHED GRADE	—	PROPOSED 16' CONTOUR
⑱	PROPOSED FINISHED GRADE	—	PROPOSED 17' CONTOUR
⑲	PROPOSED FINISHED GRADE	—	PROPOSED 18' CONTOUR
⑳	PROPOSED FINISHED GRADE	—	PROPOSED 19' CONTOUR
㉑	PROPOSED FINISHED GRADE	—	PROPOSED 20' CONTOUR
㉒	PROPOSED FINISHED GRADE	—	PROPOSED 21' CONTOUR
㉓	PROPOSED FINISHED GRADE	—	PROPOSED 22' CONTOUR
㉔	PROPOSED FINISHED GRADE	—	PROPOSED 23' CONTOUR
㉕	PROPOSED FINISHED GRADE	—	PROPOSED 24' CONTOUR
㉖	PROPOSED FINISHED GRADE	—	PROPOSED 25' CONTOUR
㉗	PROPOSED FINISHED GRADE	—	PROPOSED 26' CONTOUR
㉘	PROPOSED FINISHED GRADE	—	PROPOSED 27' CONTOUR
㉙	PROPOSED FINISHED GRADE	—	PROPOSED 28' CONTOUR
㉚	PROPOSED FINISHED GRADE	—	PROPOSED 29' CONTOUR
㉛	PROPOSED FINISHED GRADE	—	PROPOSED 30' CONTOUR

ABBREVIATIONS

AS	ASBESTOS	PC	PERFORATED CONCRETE CURB
BL	BLOCK	PC	PERFORATED CONCRETE PAVEMENT
BR	BROOK	PC	PERFORATED CONCRETE PAVEMENT
CA	CANAL	PC	PERFORATED CONCRETE PAVEMENT
CD	CORNER	PC	PERFORATED CONCRETE PAVEMENT
CE	CENTRELINE	PC	PERFORATED CONCRETE PAVEMENT
CF	CURB	PC	PERFORATED CONCRETE PAVEMENT
CG	CURB	PC	PERFORATED CONCRETE PAVEMENT
CH	CURB	PC	PERFORATED CONCRETE PAVEMENT
CI	CURB	PC	PERFORATED CONCRETE PAVEMENT
CJ	CURB	PC	PERFORATED CONCRETE PAVEMENT
CK	CURB	PC	PERFORATED CONCRETE PAVEMENT
CL	CURB	PC	PERFORATED CONCRETE PAVEMENT
CM	CURB	PC	PERFORATED CONCRETE PAVEMENT
CN	CURB	PC	PERFORATED CONCRETE PAVEMENT
CO	CURB	PC	PERFORATED CONCRETE PAVEMENT
CP	CURB	PC	PERFORATED CONCRETE PAVEMENT
CQ	CURB	PC	PERFORATED CONCRETE PAVEMENT
CR	CURB	PC	PERFORATED CONCRETE PAVEMENT
CS	CURB	PC	PERFORATED CONCRETE PAVEMENT
CT	CURB	PC	PERFORATED CONCRETE PAVEMENT
CU	CURB	PC	PERFORATED CONCRETE PAVEMENT
CV	CURB	PC	PERFORATED CONCRETE PAVEMENT
CW	CURB	PC	PERFORATED CONCRETE PAVEMENT
CX	CURB	PC	PERFORATED CONCRETE PAVEMENT
CY	CURB	PC	PERFORATED CONCRETE PAVEMENT
CZ	CURB	PC	PERFORATED CONCRETE PAVEMENT

22
UNCC 1-800-822-1987
CALL 811
FOR UTILITY LOCATIONS
BEFORE DIGGING

**MEADOW RIDGE SUBDIVISION
SKETCH PLAN/ PRELIMINARY PLAT**



LEGEND

- PROPOSED OVERLAND FLOW
- CENTERSLINE
- RIGHT-OF-WAY
- PROPERTY LINE
- EDGE OF PAVEMENT
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- PROPOSED LIGHT
- PROPOSED OVERWALK
- PROPOSED SIDEWALK
- PROPOSED ELEVATION
- EXISTING ELEVATION
- ELEVATED DESIGN
- SECTION LINE
- PLUMB BOUNDARY
- PROPOSED SLOPE & DIRECTION
- LOSS
- PROPOSED SLOPE & DIRECTION

ABBREVIATIONS

- AD ANGLE DEFERENCE
- AL ALIEN LOT
- AS ASH
- BS BIRCH
- CA CALIFORNIA
- CD CONCRETE
- CE CEMENT
- CF CEMENT FLOOR
- CG CEMENT GROUT
- CH CHALK
- CI CEMENT INLET
- CL CEMENT LIME
- CM CEMENT MORTAR
- CS CEMENT SAND
- CT CEMENT TIE
- CU CEMENT UNDERLAY
- CV CEMENT VENEER
- DC DRAINAGE CURB
- DE DRAINAGE EDGE
- DF DRAINAGE FLOW
- DI DRAINAGE INLET
- DL DRAINAGE LINE
- DM DRAINAGE MANHOLE
- DN DRAINAGE NEST
- DO DRAINAGE OPENING
- DP DRAINAGE PILE
- DR DRAINAGE RAMP
- DS DRAINAGE SLOPE
- DT DRAINAGE TIE
- DU DRAINAGE UNDERLAY
- DV DRAINAGE VENEER
- EW ELECTRIC WIRE
- EX EXISTING
- FL FLOOR
- FR FLOOR FINISH
- FS FLOOR SAND
- FT FLOOR TIE
- FW FLOOR WIRE
- GA GAS
- GL GAS LINE
- GR GRASS
- GS GAS SERVICE
- GU GAS UNDERLAY
- GV GAS VENEER
- HW HOT WATER
- IC INSULATION
- LD LUMBER
- LE LUMBER END
- LI LUMBER INLET
- LO LUMBER OPENING
- LP LUMBER PILE
- LS LUMBER SAND
- LV LUMBER VENEER
- MA MASONRY
- MB MASONRY BLOCK
- MC MASONRY CURB
- MD MASONRY DRAIN
- ME MASONRY EDGE
- MF MASONRY FINISH
- MG MASONRY GROUT
- MH MASONRY HOLE
- MI MASONRY INLET
- ML MASONRY LIME
- MM MASONRY MORTAR
- MS MASONRY SAND
- MT MASONRY TIE
- MV MASONRY VENEER
- NA NORTH ANGLE
- NS NORTH SAND
- NT NORTH TIE
- NU NORTH UNDERLAY
- NV NORTH VENEER
- PA PAVEMENT
- PB PAVEMENT BLOCK
- PC PAVEMENT CURB
- PD PAVEMENT DRAIN
- PE PAVEMENT EDGE
- PF PAVEMENT FINISH
- PG PAVEMENT GROUT
- PH PAVEMENT HOLE
- PI PAVEMENT INLET
- PL PAVEMENT LIME
- PM PAVEMENT MORTAR
- PS PAVEMENT SAND
- PT PAVEMENT TIE
- PV PAVEMENT VENEER
- RA RAMP
- RB RAMP BLOCK
- RC RAMP CURB
- RD RAMP DRAIN
- RE RAMP EDGE
- RF RAMP FINISH
- RG RAMP GROUT
- RH RAMP HOLE
- RI RAMP INLET
- RL RAMP LIME
- RM RAMP MORTAR
- RS RAMP SAND
- RT RAMP TIE
- RV RAMP VENEER
- SA SAND
- SB SAND BLOCK
- SC SAND CURB
- SD SAND DRAIN
- SE SAND EDGE
- SF SAND FINISH
- SG SAND GROUT
- SH SAND HOLE
- SI SAND INLET
- SL SAND LIME
- SM SAND MORTAR
- SN SAND SAND
- ST SAND TIE
- SV SAND VENEER
- SW SWELL
- TA TIE
- TB TIE BLOCK
- TC TIE CURB
- TD TIE DRAIN
- TE TIE EDGE
- TF TIE FINISH
- TG TIE GROUT
- TH TIE HOLE
- TI TIE INLET
- TJ TIE JUNCTION
- TK TIE KNOT
- TL TIE LIME
- TM TIE MORTAR
- TS TIE SAND
- TT TIE TIE
- TV TIE VENEER
- UN UNKNOWN
- UR UNKNOWN RAMP
- US UNKNOWN SAND
- UT UNKNOWN TIE
- UV UNKNOWN VENEER
- VA VALVE
- VB VALVE BLOCK
- VC VALVE CURB
- VD VALVE DRAIN
- VE VALVE EDGE
- VF VALVE FINISH
- VG VALVE GROUT
- VH VALVE HOLE
- VI VALVE INLET
- VJ VALVE JUNCTION
- VK VALVE KNOT
- VL VALVE LIME
- VM VALVE MORTAR
- VS VALVE SAND
- VT VALVE TIE
- VV VALVE VENEER
- WA WATER
- WB WATER BLOCK
- WC WATER CURB
- WD WATER DRAIN
- WE WATER EDGE
- WF WATER FINISH
- WG WATER GROUT
- WH WATER HOLE
- WI WATER INLET
- WL WATER LIME
- WM WATER MORTAR
- WS WATER SAND
- WT WATER TIE
- WV WATER VENEER
- WY WATER YIELD
- XA X-RAY
- XB X-RAY BLOCK
- XC X-RAY CURB
- XD X-RAY DRAIN
- XE X-RAY EDGE
- XF X-RAY FINISH
- YG YIELD
- YH YIELD HOLE
- YI YIELD INLET
- YL YIELD LIME
- YM YIELD MORTAR
- YS YIELD SAND
- YT YIELD TIE
- YV YIELD VENEER
- ZA ZONE
- ZB ZONE BLOCK
- ZC ZONE CURB
- ZD ZONE DRAIN
- ZE ZONE EDGE
- ZF ZONE FINISH
- ZG ZONE GROUT
- ZH ZONE HOLE
- ZI ZONE INLET
- ZJ ZONE JUNCTION
- ZK ZONE KNOT
- ZL ZONE LIME
- ZM ZONE MORTAR
- ZS ZONE SAND
- ZT ZONE TIE
- ZV ZONE VENEER

**MEADOW RIDGE SUBDIVISION
PRELIMINARY PLAT
PRELIMINARY GRADING AND DRAINAGE PLAN**

CAR HOLDING COMPANY, LLC
1288 S CLAYTON ST
DENVER, CO 80210

Westwood
Westwood Professional Services, Inc.
1288 S CLAYTON ST
DENVER, CO 80210
TEL: 720.421.9920

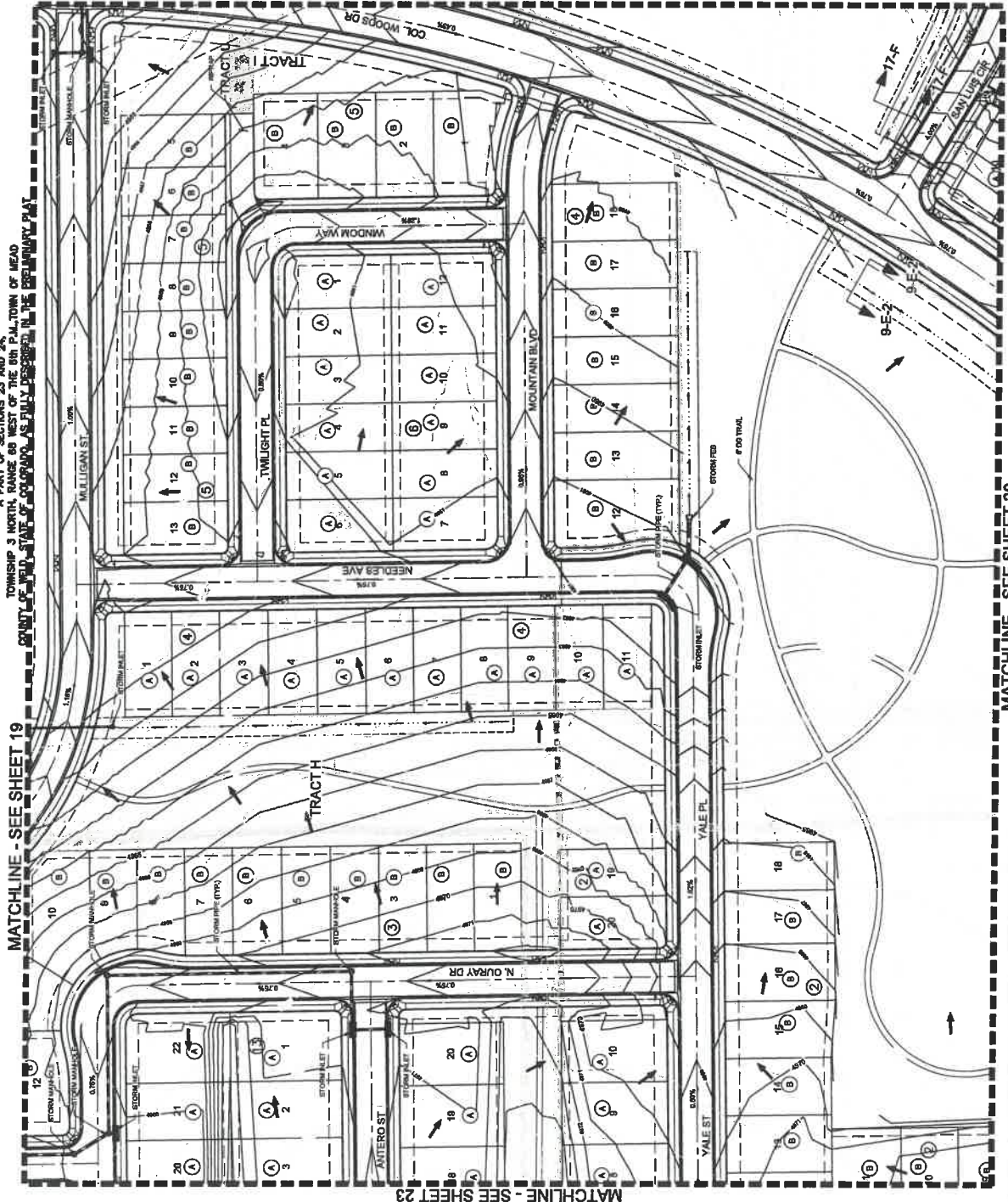
DATE: April 2023
FILE NO: 28360
CHECKED BY: TSP
DRAWN BY: AS SHOWN
SCALE: 1/8" = 1'

CALL 811
BEFORE YOU DIG
UNCC 1-800-922-1881

MATCHLINE - SEE SHEET 22
MATCHLINE - SEE SHEET 28

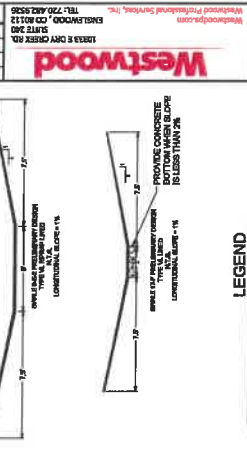
MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

TOWNSHIP 3 NORTH, RANGE 68 WEST, AND 24 EAST, TOWN OF MEAD
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT



DATE	BY	SCALE	AS SHOWN
APR 2023	220360		

NO.	REVISIONS	DATE



LEGEND

(Symbol)	BLOCK NUMBER
(Symbol)	LOT TYPE
(Symbol)	EXISTING FLARED END
(Symbol)	SECTION
(Symbol)	EXISTING STORM DRAIN
(Symbol)	MANHOLE
(Symbol)	EXISTING STORM DRAIN
(Symbol)	PROPOSED LIGHT
(Symbol)	PROPOSED SIDEWALK
(Symbol)	PROPOSED RAMP
(Symbol)	EXISTING ELEVATION
(Symbol)	PROPOSED ELEVATION
(Symbol)	10.00
(Symbol)	PROPOSED FINISHED GRADE
(Symbol)	PROPOSED OVERLAND FLOW CENTERLINE
(Symbol)	PROPOSED DRIVEWAY
(Symbol)	PROPERTY LINE
(Symbol)	EDGE OF PAVEMENT
(Symbol)	EXISTING 8' CONTOUR
(Symbol)	EXISTING 1' CONTOUR
(Symbol)	PROPOSED 1' CONTOUR
(Symbol)	EXISTING STORM DRAIN
(Symbol)	PROPOSED STORM DRAIN
(Symbol)	PROPOSED SECTION LINE
(Symbol)	PROPOSED SLOPE & DIRECTION

ABBREVIATIONS

(Symbol)	AVAIL. REFERENCE
(Symbol)	ELEVATION
(Symbol)	BOUNDARY
(Symbol)	PLANNING
(Symbol)	PROPOSED
(Symbol)	EXISTING
(Symbol)	STORM DRAIN
(Symbol)	MANHOLE
(Symbol)	LINEAR FEET
(Symbol)	STATION LINE
(Symbol)	TOP OF PIPE
(Symbol)	UNSATURATED
(Symbol)	WATER SURFACE ELEVATION
(Symbol)	N.T.A. NOT TO SCALE

24

CALL 611
FOR EMERGENCY
REPAIRS
UNCC
1-800-922-1887

SCALE 1" = 50'

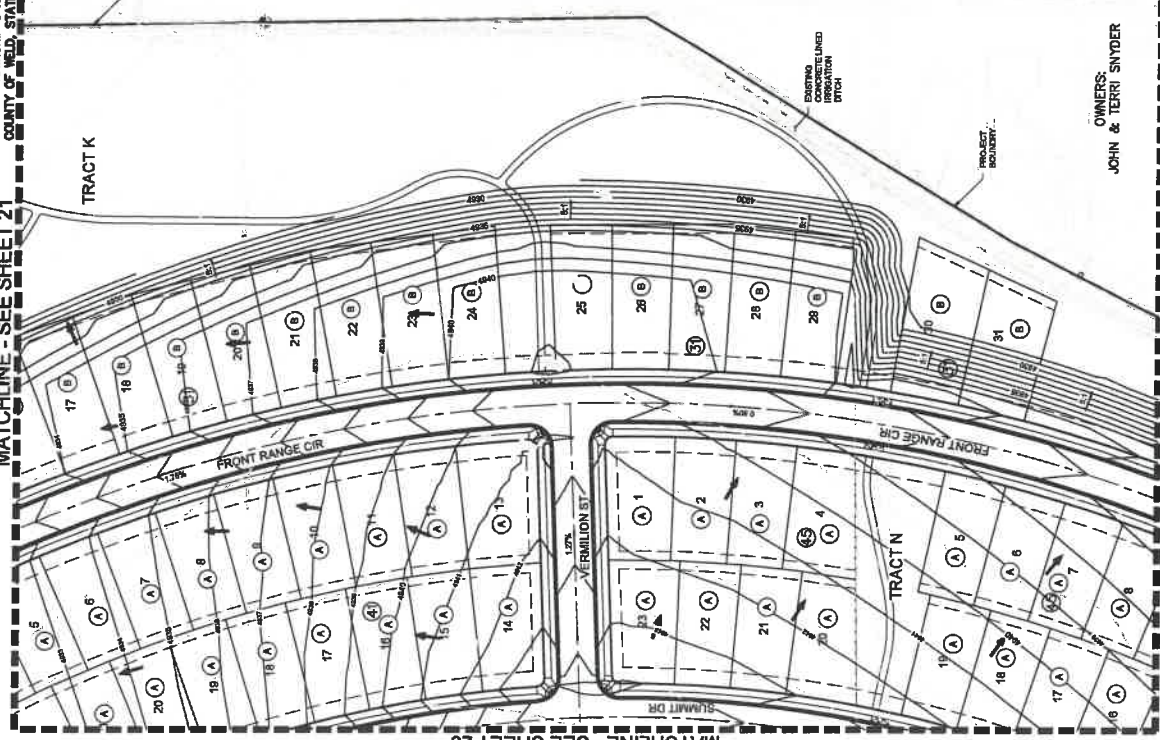
MATCHLINE - SEE SHEET 23 (Left)

MATCHLINE - SEE SHEET 25 (Right)

MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

TOWNSHIP 3 NORTH, RANGE 66 WEST OF THE 6TH P.M. TOWN OF MEAD
COUNTY OF WELD, STATE OF COLORADO. AS SHOWN AND RECORDED IN THE PRELIMINARY PLAT
BOOKED IN THE PUBLIC RECORDS OF THE COUNTY OF WELD, COLORADO.

MATCHLINE - SEE SHEET 21



TRACT K

RED BARN SUBDIVISION

OWNER:
FARMLAND RESERVE, INC.

OWNERS:
JOHN & TERRY SNYDER

MATCHLINE - SEE SHEET 31

DATE: APR 2021	FILE NO: 230980	SCALE: AS SHOWN	SHEET NUMBER: 26
	CHECKED BY: [Signature]	DATE: APR 2021	

<p>Westwood.com Westwood (Professional Services), Inc. ENGINEER, CO #0212 10323 E 104TH STREET, SUITE 200 DENVER, CO 80231 TEL: 720-928-2525</p>	<p>CMR HOLDING COMPANY, LLC 12328 S CLAYTON ST DENVER, CO 80210</p>	<p>MEADOW RIDGE SUBDIVISION PRELIMINARY PLAT PRELIMINARY GRADING AND DRAINAGE PLAN</p>	<p>DATE: APR 2021</p>	<p>FILE NO: 230980</p>	<p>SCALE: AS SHOWN</p>	<p>SHEET NUMBER: 26</p>
			<p>CHECKED BY: [Signature]</p>	<p>DATE: APR 2021</p>	<p>DESIGNER: [Signature]</p>	

LEGEND

	PROPOSED OVERLAND FLOW
	CENTRELINE
	RIGHT-OF-WAY
	PROPERTY LINE
	EDGE OF PAVEMENT
	EXISTING 1' CONTOUR
	EXISTING 2' CONTOUR
	PROPOSED 1' CONTOUR
	PROPOSED 2' CONTOUR
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	PROPOSED SIDEWALK
	PROPOSED SIDEWALK RAMP
	EXISTING ELEVATION
	PROPOSED ELEVATION
	EXISTING CONCRETE LINED DITCH
	PROPOSED FINISHED GRADE
	PROPOSED SLOPE & FINISH

ABBREVIATIONS

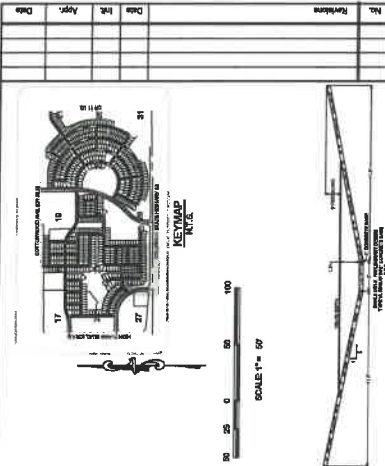
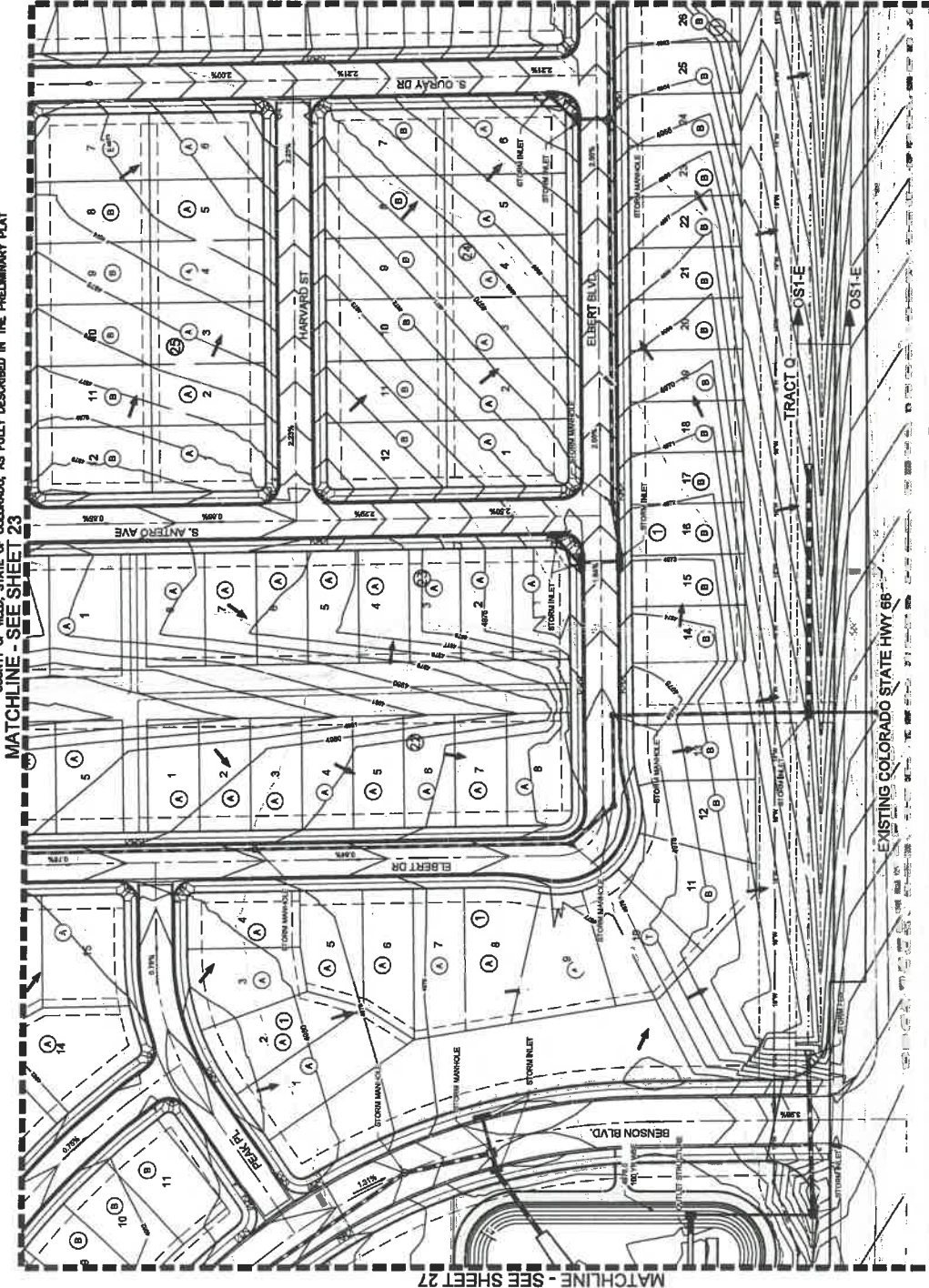
AD	ASILE DITCH/ENGINE
AL	ALLEY
PL	PROPERTY LINE
PL	PROPOSED SIDEWALK
PL	PROPOSED SIDEWALK RAMP
PL	PROPOSED CONCRETE BOX CULVERT
PL	PROPOSED CONCRETE PIPE
PL	PROPOSED 1' CONTOUR
PL	PROPOSED 2' CONTOUR
PL	PROPOSED 10' CONTOUR
PL	PROPOSED 20' CONTOUR
PL	PROPOSED 30' CONTOUR
PL	PROPOSED 40' CONTOUR
PL	PROPOSED 50' CONTOUR
PL	PROPOSED 60' CONTOUR
PL	PROPOSED 70' CONTOUR
PL	PROPOSED 80' CONTOUR
PL	PROPOSED 90' CONTOUR
PL	PROPOSED 100' CONTOUR
PL	PROPOSED 110' CONTOUR
PL	PROPOSED 120' CONTOUR
PL	PROPOSED 130' CONTOUR
PL	PROPOSED 140' CONTOUR
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PL	PROPOSED 210' CONTOUR
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PL	PROPOSED 690' CONTOUR
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PL	PROPOSED 720' CONTOUR
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PL	PROPOSED 750' CONTOUR
PL	PROPOSED 760' CONTOUR
PL	PROPOSED 770' CONTOUR
PL	PROPOSED 780' CONTOUR
PL	PROPOSED 790' CONTOUR
PL	PROPOSED 800' CONTOUR
PL	PROPOSED 810' CONTOUR
PL	PROPOSED 820' CONTOUR
PL	PROPOSED 830' CONTOUR
PL	PROPOSED 840' CONTOUR
PL	PROPOSED 850' CONTOUR
PL	PROPOSED 860' CONTOUR
PL	PROPOSED 870' CONTOUR
PL	PROPOSED 880' CONTOUR
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PL	PROPOSED 900' CONTOUR
PL	PROPOSED 910' CONTOUR
PL	PROPOSED 920' CONTOUR
PL	PROPOSED 930' CONTOUR
PL	PROPOSED 940' CONTOUR
PL	PROPOSED 950' CONTOUR
PL	PROPOSED 960' CONTOUR
PL	PROPOSED 970' CONTOUR
PL	PROPOSED 980' CONTOUR
PL	PROPOSED 990' CONTOUR
PL	PROPOSED 1000' CONTOUR

SCALE 1" = 50'

CALL 811
BEFORE YOU DIG
UNION 1-800-922-1987

MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

A PART OF SECTIONS 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



LEGEND

Block Number	Proposed Overland Flow
Lot Type	Centerline
Existing Placed End	Right-of-Way
Existing Storm Drain	Property Line
Proposed Storm Drain	Edge of Pavement
Proposed Storm Drain Inlet	Existing 2' Contour
Proposed Storm Drain Manhole	Existing 1' Contour
Proposed Storm Drain Pole	Proposed 2' Contour
Proposed Storm Drain Pump	Proposed 1' Contour
Existing Elevation	Existing Storm Drain
Proposed Elevation	Section Line
Proposed Finish	Feeling Boundary
Proposed Finish	Proposed Slope & Section

ABBREVIATIONS

AL	Angle Difference
AN	Asphalt
CA	Concrete
CB	Concrete
CD	Concrete
CE	Concrete
CF	Concrete
CG	Concrete
CH	Concrete
CI	Concrete
CJ	Concrete
CK	Concrete
CL	Concrete
CM	Concrete
CN	Concrete
CO	Concrete
CP	Concrete
CQ	Concrete
CR	Concrete
CS	Concrete
CT	Concrete
CU	Concrete
CV	Concrete
CW	Concrete
CX	Concrete
CY	Concrete
CZ	Concrete

OWNER: DOUTH LONGMONT, LLC

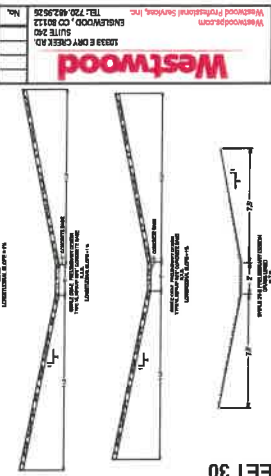
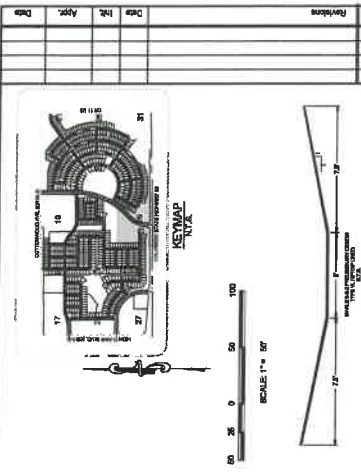
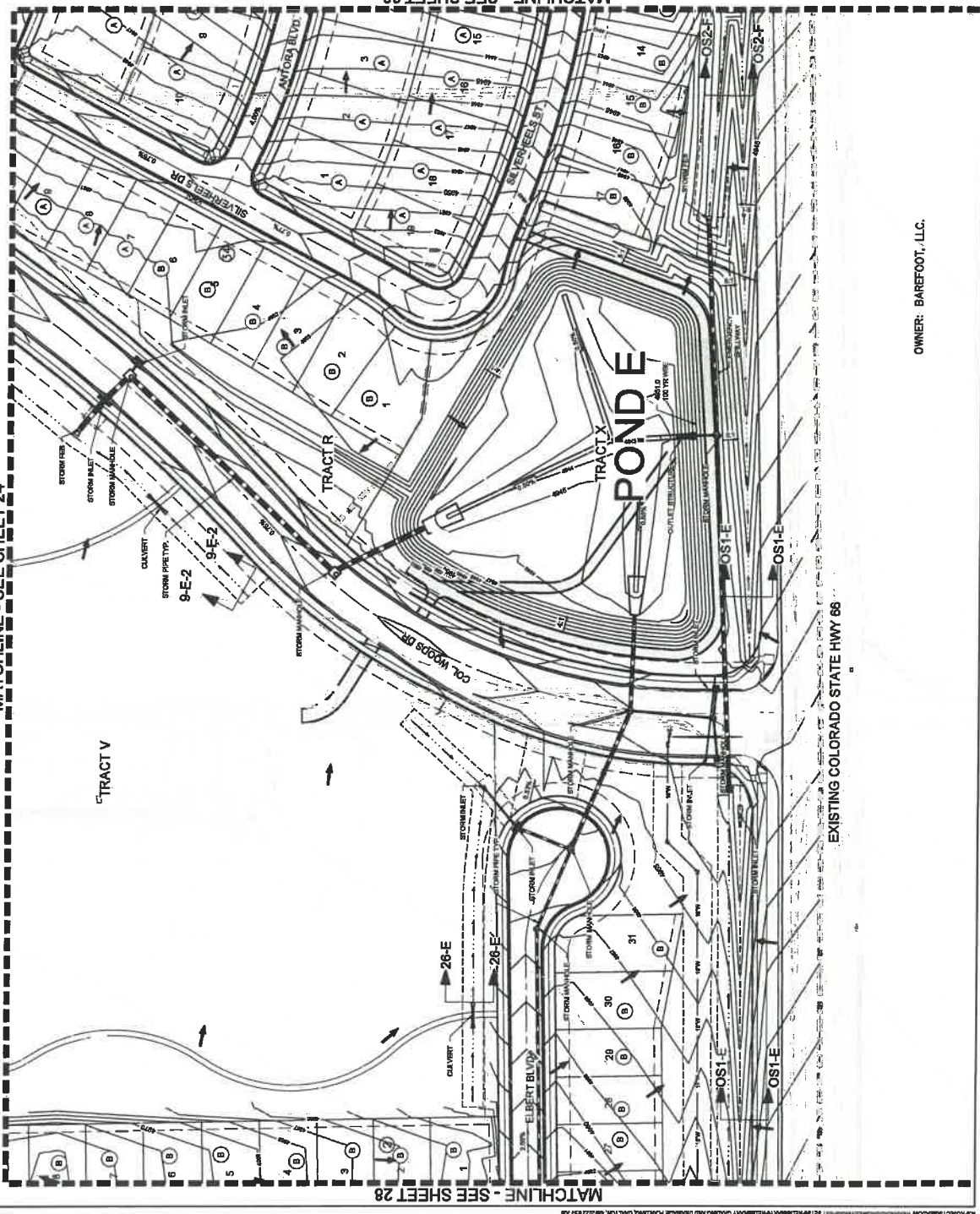
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28

DATE:	APR 2021
SCALE:	AS SHOWN
PROJECT:	MEADOW RIDGE SUBDIVISION PRELIMINARY GRADING AND DRAINAGE PLAN
CLIENT:	CRH HOLDING COMPANY, LLC 1328 S CLAYTON ST DENVER, CO 80210
DESIGNER:	Westwood 1222 14TH AVE, SUITE 200 DENVER, CO 80202
DATE:	APR 2021

MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24,
TOWNSHIP 3 NORTH, RANGE 65 NORTH, T10N
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT
MATCHLINE - SEE SHEET 24



LEGEND

	PROPOSED OVERLAND FLOW		CONTOUR LINE
	RIGHT-OF-WAY		PROPERTY LINE
	EXISTING PAVED ROAD SECTION		EDGE OF PAVEMENT
	EXISTING STORM DRAIN		EXISTING STORM DRAIN MANHOLE
	PROPOSED STORM DRAIN		PROPOSED STORM DRAIN MANHOLE
	PROPOSED LIGHT POLE		PROPOSED 4' CONTOUR
	PROPOSED 6' CONTOUR		PROPOSED 8' CONTOUR
	PROPOSED 10' CONTOUR		EXISTING STORM DRAIN
	SECTION LINE		FINAL BOUNDARY
	PROPOSED GRADED ROAD		PROPOSED GRADED ROAD

ABBREVIATIONS

EL	ELEVATION	PL	PROPERTY LINE
FR	FRACTIONAL GRADIENT	PC	PROPOSED CONCRETE CURB
PR	PROPOSED ROAD	PCB	PROPOSED CONCRETE BOX
PA	PROPOSED ASPHALT DRIVE	PCP	PROPOSED CONCRETE PIPE
PE	PROPOSED ELEVATION	PCW	PROPOSED CONCRETE WALL
PF	PROPOSED FINISH	PCY	PROPOSED CONCRETE YARD
PH	PROPOSED DRIVE	PCZ	PROPOSED CONCRETE ZONE
PI	PROPOSED INTERSECTION	PCD	PROPOSED CONCRETE DRIVE
PL	PROPOSED LIGHT	PCF	PROPOSED CONCRETE FLOW
PM	PROPOSED MANHOLE	PCG	PROPOSED CONCRETE GROUND
PN	PROPOSED NATURE	PCH	PROPOSED CONCRETE HILL
PO	PROPOSED POLE	PCI	PROPOSED CONCRETE ISLAND
PP	PROPOSED PAVEMENT	PCJ	PROPOSED CONCRETE JUNCTION
PT	PROPOSED POND	PCK	PROPOSED CONCRETE KIOSK
PU	PROPOSED UTILITY	PCL	PROPOSED CONCRETE LAWN
PV	PROPOSED VALLEY	PCM	PROPOSED CONCRETE MOUND
PA	PROPOSED ASSESSMENT	PCN	PROPOSED CONCRETE NEST
PC	PROPOSED CONCRETE	PCO	PROPOSED CONCRETE OUTFALL
PD	PROPOSED DRIVE	PCP	PROPOSED CONCRETE PIPE
PE	PROPOSED ELEVATION	PCQ	PROPOSED CONCRETE QUAD
PF	PROPOSED FINISH	PCR	PROPOSED CONCRETE RAMP
PH	PROPOSED DRIVE	PCS	PROPOSED CONCRETE SIDEWALK
PI	PROPOSED INTERSECTION	PCV	PROPOSED CONCRETE VALVE
PL	PROPOSED LIGHT	PCW	PROPOSED CONCRETE WALL
PM	PROPOSED MANHOLE	PCX	PROPOSED CONCRETE WALL
PN	PROPOSED NATURE	PCY	PROPOSED CONCRETE YARD
PO	PROPOSED POLE	PCZ	PROPOSED CONCRETE ZONE
PP	PROPOSED PAVEMENT	PCD	PROPOSED CONCRETE DRIVE
PT	PROPOSED POND	PCF	PROPOSED CONCRETE FLOW
PU	PROPOSED UTILITY	PCG	PROPOSED CONCRETE GROUND
PV	PROPOSED VALLEY	PCH	PROPOSED CONCRETE HILL
PA	PROPOSED ASSESSMENT	PCI	PROPOSED CONCRETE ISLAND
PC	PROPOSED CONCRETE	PCJ	PROPOSED CONCRETE JUNCTION
PD	PROPOSED DRIVE	PCK	PROPOSED CONCRETE KIOSK
PE	PROPOSED ELEVATION	PCL	PROPOSED CONCRETE LAWN
PF	PROPOSED FINISH	PCM	PROPOSED CONCRETE MOUND
PH	PROPOSED DRIVE	PCN	PROPOSED CONCRETE NEST
PI	PROPOSED INTERSECTION	PCO	PROPOSED CONCRETE OUTFALL
PL	PROPOSED LIGHT	PCP	PROPOSED CONCRETE PIPE
PM	PROPOSED MANHOLE	PCQ	PROPOSED CONCRETE QUAD
PN	PROPOSED NATURE	PCR	PROPOSED CONCRETE RAMP
PO	PROPOSED POLE	PCS	PROPOSED CONCRETE SIDEWALK
PP	PROPOSED PAVEMENT	PCV	PROPOSED CONCRETE VALVE
PT	PROPOSED POND	PCW	PROPOSED CONCRETE WALL
PU	PROPOSED UTILITY	PCX	PROPOSED CONCRETE WALL
PV	PROPOSED VALLEY	PCY	PROPOSED CONCRETE YARD
PA	PROPOSED ASSESSMENT	PCZ	PROPOSED CONCRETE ZONE
PC	PROPOSED CONCRETE	PCD	PROPOSED CONCRETE DRIVE
PD	PROPOSED DRIVE	PCF	PROPOSED CONCRETE FLOW
PE	PROPOSED ELEVATION	PCG	PROPOSED CONCRETE GROUND
PF	PROPOSED FINISH	PCH	PROPOSED CONCRETE HILL
PH	PROPOSED DRIVE	PCI	PROPOSED CONCRETE ISLAND
PI	PROPOSED INTERSECTION	PCJ	PROPOSED CONCRETE JUNCTION
PL	PROPOSED LIGHT	PCK	PROPOSED CONCRETE KIOSK
PM	PROPOSED MANHOLE	PCL	PROPOSED CONCRETE LAWN
PN	PROPOSED NATURE	PCM	PROPOSED CONCRETE MOUND
PO	PROPOSED POLE	PCN	PROPOSED CONCRETE NEST
PP	PROPOSED PAVEMENT	PCO	PROPOSED CONCRETE OUTFALL
PT	PROPOSED POND	PCP	PROPOSED CONCRETE PIPE
PU	PROPOSED UTILITY	PCQ	PROPOSED CONCRETE QUAD
PV	PROPOSED VALLEY	PCR	PROPOSED CONCRETE RAMP
PA	PROPOSED ASSESSMENT	PCS	PROPOSED CONCRETE SIDEWALK
PC	PROPOSED CONCRETE	PCV	PROPOSED CONCRETE VALVE
PD	PROPOSED DRIVE	PCW	PROPOSED CONCRETE WALL
PE	PROPOSED ELEVATION	PCX	PROPOSED CONCRETE WALL
PF	PROPOSED FINISH	PCY	PROPOSED CONCRETE YARD
PH	PROPOSED DRIVE	PCZ	PROPOSED CONCRETE ZONE
PI	PROPOSED INTERSECTION	PCD	PROPOSED CONCRETE DRIVE
PL	PROPOSED LIGHT	PCF	PROPOSED CONCRETE FLOW
PM	PROPOSED MANHOLE	PCG	PROPOSED CONCRETE GROUND
PN	PROPOSED NATURE	PCH	PROPOSED CONCRETE HILL
PO	PROPOSED POLE	PCI	PROPOSED CONCRETE ISLAND
PP	PROPOSED PAVEMENT	PCJ	PROPOSED CONCRETE JUNCTION
PT	PROPOSED POND	PCK	PROPOSED CONCRETE KIOSK
PU	PROPOSED UTILITY	PCL	PROPOSED CONCRETE LAWN
PV	PROPOSED VALLEY	PCM	PROPOSED CONCRETE MOUND
PA	PROPOSED ASSESSMENT	PCN	PROPOSED CONCRETE NEST
PC	PROPOSED CONCRETE	PCO	PROPOSED CONCRETE OUTFALL
PD	PROPOSED DRIVE	PCP	PROPOSED CONCRETE PIPE
PE	PROPOSED ELEVATION	PCQ	PROPOSED CONCRETE QUAD
PF	PROPOSED FINISH	PCR	PROPOSED CONCRETE RAMP
PH	PROPOSED DRIVE	PCS	PROPOSED CONCRETE SIDEWALK
PI	PROPOSED INTERSECTION	PCV	PROPOSED CONCRETE VALVE
PL	PROPOSED LIGHT	PCW	PROPOSED CONCRETE WALL
PM	PROPOSED MANHOLE	PCX	PROPOSED CONCRETE WALL
PN	PROPOSED NATURE	PCY	PROPOSED CONCRETE YARD
PO	PROPOSED POLE	PCZ	PROPOSED CONCRETE ZONE
PP	PROPOSED PAVEMENT	PCD	PROPOSED CONCRETE DRIVE
PT	PROPOSED POND	PCF	PROPOSED CONCRETE FLOW
PU	PROPOSED UTILITY	PCG	PROPOSED CONCRETE GROUND
PV	PROPOSED VALLEY	PCH	PROPOSED CONCRETE HILL
PA	PROPOSED ASSESSMENT	PCI	PROPOSED CONCRETE ISLAND
PC	PROPOSED CONCRETE	PCJ	PROPOSED CONCRETE JUNCTION
PD	PROPOSED DRIVE	PCK	PROPOSED CONCRETE KIOSK
PE	PROPOSED ELEVATION	PCL	PROPOSED CONCRETE LAWN
PF	PROPOSED FINISH	PCM	PROPOSED CONCRETE MOUND
PH	PROPOSED DRIVE	PCN	PROPOSED CONCRETE NEST
PI	PROPOSED INTERSECTION	PCO	PROPOSED CONCRETE OUTFALL
PL	PROPOSED LIGHT	PCP	PROPOSED CONCRETE PIPE
PM	PROPOSED MANHOLE	PCQ	PROPOSED CONCRETE QUAD
PN	PROPOSED NATURE	PCR	PROPOSED CONCRETE RAMP
PO	PROPOSED POLE	PCS	PROPOSED CONCRETE SIDEWALK
PP	PROPOSED PAVEMENT	PCV	PROPOSED CONCRETE VALVE
PT	PROPOSED POND	PCW	PROPOSED CONCRETE WALL
PU	PROPOSED UTILITY	PCX	PROPOSED CONCRETE WALL
PV	PROPOSED VALLEY	PCY	PROPOSED CONCRETE YARD
PA	PROPOSED ASSESSMENT	PCZ	PROPOSED CONCRETE ZONE

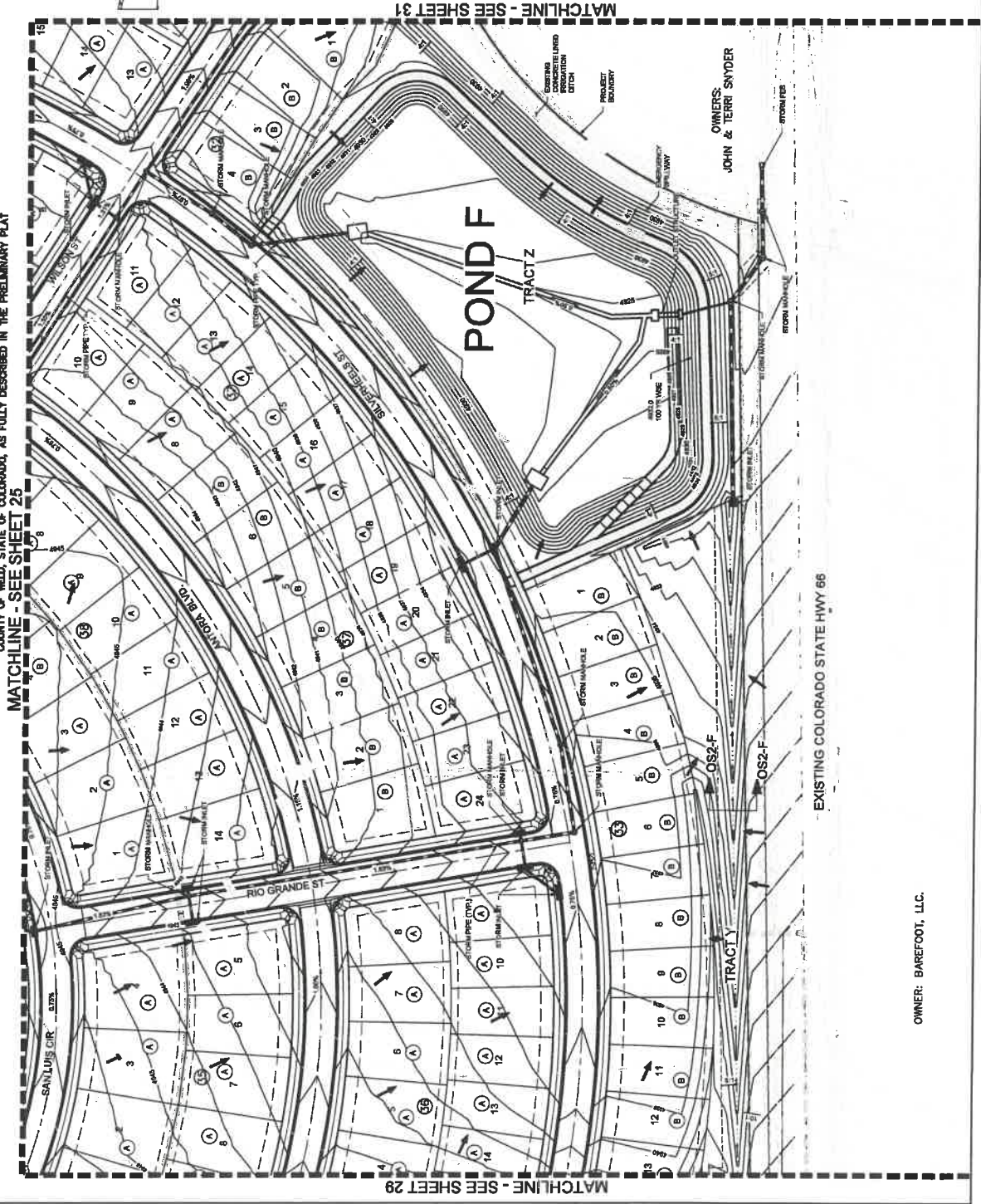
OWNER: BAREFOOT, LLC.

29
UNOC 1-800-922-1887
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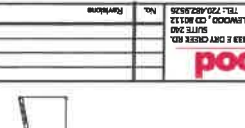
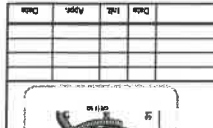
DATE: APR 2021
DRAWN BY: [Name]
SCALE: AS SHOWN
PROJECT: MEADOW RIDGE SUBDIVISION
PRELIMINARY PLAT
PRELIMINARY GRADING AND DRAINAGE PLAN
29830
WESTWOOD ENGINEERING, INC.
1238 S CLAYTON ST
DENVER, CO 80202
TEL: 720-882-2525
WWW.WESTWOODENR.COM

MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

TOWNSHIP 3 NORTH, RANGE 69 WEST OF THE 6th PL. TOWN OF HEAD
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT
MATCHLINE - SEE SHEET 25



OWNER: BAREFOOT, LLC.



LEGEND

1	PROPOSED OVERLAND FLOW
2	PROPOSED CONTOUR
3	EXISTING ROAD
4	EXISTING PAVED ROAD
5	EXISTING STORM DRAIN
6	EXISTING STORM DRAIN MANHOLE
7	EXISTING 12" CONTOUR
8	EXISTING 12" CONTOUR
9	PROPOSED 12" CONTOUR
10	PROPOSED 12" CONTOUR
11	EXISTING STORM DRAIN
12	EXISTING STORM DRAIN MANHOLE
13	PROPOSED STORM DRAIN
14	PROPOSED STORM DRAIN MANHOLE
15	PROPOSED 12" CONTOUR
16	PROPOSED 12" CONTOUR
17	PROPOSED 12" CONTOUR
18	PROPOSED 12" CONTOUR
19	PROPOSED 12" CONTOUR
20	PROPOSED 12" CONTOUR
21	PROPOSED 12" CONTOUR
22	PROPOSED 12" CONTOUR
23	PROPOSED 12" CONTOUR
24	PROPOSED 12" CONTOUR

ABBREVIATIONS

AD	ADULT DAYCARE CENTER
AL	ALLEY
AO	ANNUAL OVERFLOW
AS	ASPHALT DRIVE
BE	BEST MANAGEMENT PRACTICE
BL	BEST MANAGEMENT PRACTICE
BO	BEST MANAGEMENT PRACTICE
BR	BEST MANAGEMENT PRACTICE
BS	BEST MANAGEMENT PRACTICE
BT	BEST MANAGEMENT PRACTICE
BU	BEST MANAGEMENT PRACTICE
CA	CANAL
CB	CANAL
CC	CANAL
CD	CANAL
CE	CANAL
CF	CANAL
CG	CANAL
CH	CANAL
CI	CANAL
CJ	CANAL
CK	CANAL
CL	CANAL
CM	CANAL
CN	CANAL
CO	CANAL
CP	CANAL
CQ	CANAL
CR	CANAL
CS	CANAL
CT	CANAL
CU	CANAL
CV	CANAL
CW	CANAL
CX	CANAL
CY	CANAL
CZ	CANAL

OWNER: JOHN & TERRI SNYDER

WESTWOOD
1388 S CLAYTON ST
DENVER, CO 80202
TEL: 720.482.0525

CARR HOLDING COMPANY, LLC
1388 S CLAYTON ST
DENVER, CO 80202

WESTWOOD

DATE: APRIL 2013

FILE NO: 201300

SCALE: AS SHOWN

DRAWN BY: [Name]

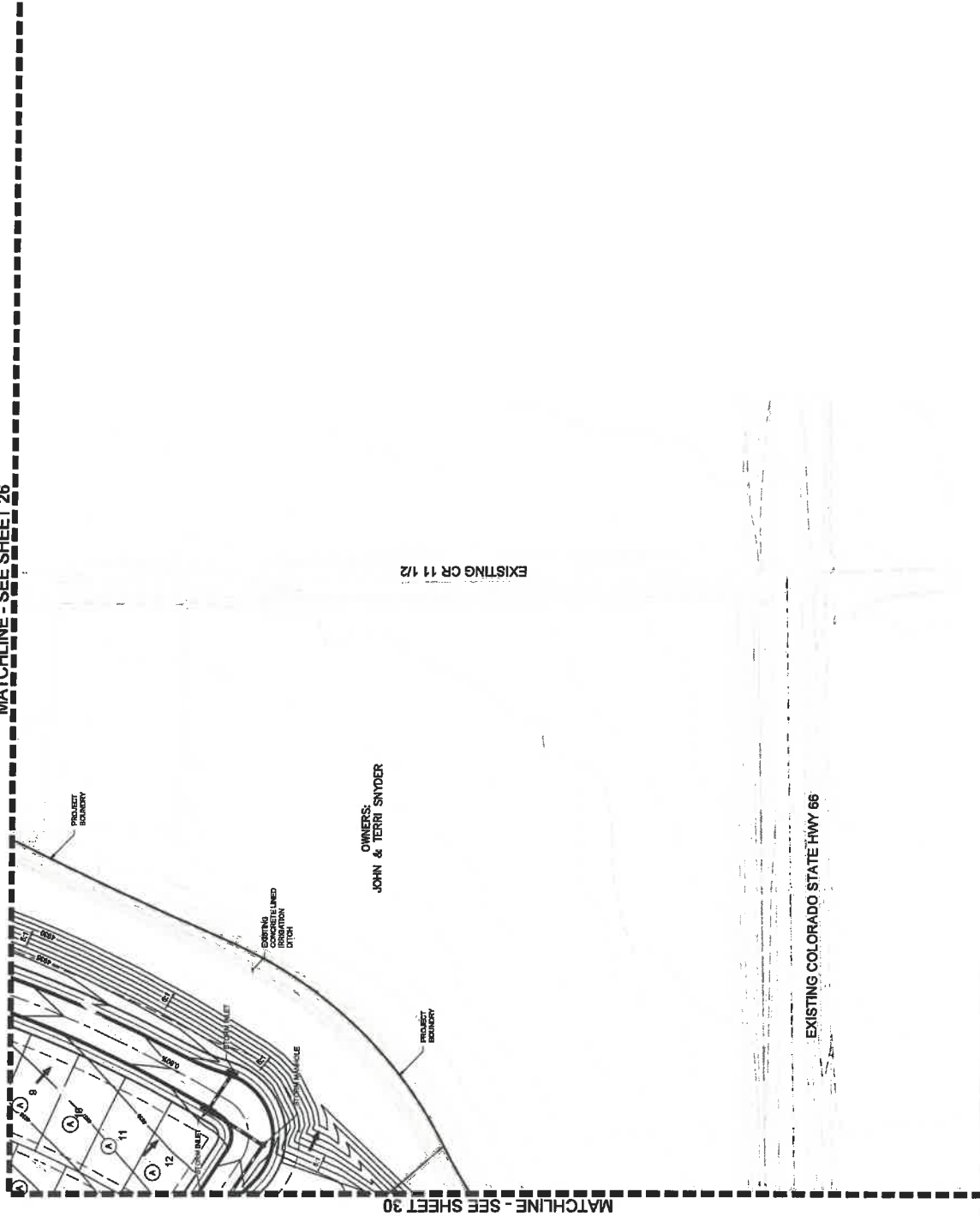
SHEET NO: 30

TOTAL SHEETS: 31

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**MEADOW RIDGE SUBDIVISION
SKETCH PLAN/ PRELIMINARY PLAT**

TOWNSHIP 3 NORTH, PART OF SECTIONS 23 AND 24,
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT
MATCHLINE - SEE SHEET 26



**OWNERS:
JOHN & TERRI SNYDER**

MATCHLINE - SEE SHEET 30

LEGEND

- | | | | |
|------------------------------|---------------------|---------------------|---------------------|
| PROPOSED OVERLAND FLOW | PROPOSED 1' CONTOUR | PROPOSED 2' CONTOUR | PROPOSED 3' CONTOUR |
| CENTRELINE | EXISTING 1' CONTOUR | EXISTING 2' CONTOUR | EXISTING 3' CONTOUR |
| RIGHT-OF-WAY | PROPOSED 1' CONTOUR | PROPOSED 2' CONTOUR | PROPOSED 3' CONTOUR |
| PROPERTY LINE | EXISTING 1' CONTOUR | EXISTING 2' CONTOUR | EXISTING 3' CONTOUR |
| EDGE OF PAVEMENT | EXISTING 1' CONTOUR | EXISTING 2' CONTOUR | EXISTING 3' CONTOUR |
| EXISTING STORM DRAIN | EXISTING 1' CONTOUR | EXISTING 2' CONTOUR | EXISTING 3' CONTOUR |
| EXISTING STORM DRAIN MANHOLE | EXISTING 1' CONTOUR | EXISTING 2' CONTOUR | EXISTING 3' CONTOUR |
| PROPOSED LIGHT | EXISTING 1' CONTOUR | EXISTING 2' CONTOUR | EXISTING 3' CONTOUR |
| PROPOSED SIDEWALK | EXISTING 1' CONTOUR | EXISTING 2' CONTOUR | EXISTING 3' CONTOUR |
| PROPOSED SIDEWALK RAMP | EXISTING 1' CONTOUR | EXISTING 2' CONTOUR | EXISTING 3' CONTOUR |
| EXISTING ELEVATION | EXISTING 1' CONTOUR | EXISTING 2' CONTOUR | EXISTING 3' CONTOUR |
| PROPOSED DESIGN ELEVATION | EXISTING 1' CONTOUR | EXISTING 2' CONTOUR | EXISTING 3' CONTOUR |
| PROPOSED FINISHED DRIVEWAY | EXISTING 1' CONTOUR | EXISTING 2' CONTOUR | EXISTING 3' CONTOUR |
| PROPOSED FINISHED DRIVEWAY | EXISTING 1' CONTOUR | EXISTING 2' CONTOUR | EXISTING 3' CONTOUR |

ABBREVIATIONS

- | | | | |
|----|-------------------|----|------------------|
| AD | AVIATION DRIVEWAY | AS | AS SHOWN |
| BL | BLOCK NUMBER | CC | CORNER |
| BL | BLOCK NUMBER | CL | CONCRETE |
| FL | FLOW LINE | CH | CURB |
| FL | FLOW LINE | CR | CRACK |
| FL | FLOW LINE | CS | CONCRETE SURFACE |
| FL | FLOW LINE | CS | CONCRETE SURFACE |
| FL | FLOW LINE | CS | CONCRETE SURFACE |
| FL | FLOW LINE | CS | CONCRETE SURFACE |
| FL | FLOW LINE | CS | CONCRETE SURFACE |
| FL | FLOW LINE | CS | CONCRETE SURFACE |
| FL | FLOW LINE | CS | CONCRETE SURFACE |
| FL | FLOW LINE | CS | CONCRETE SURFACE |
| FL | FLOW LINE | CS | CONCRETE SURFACE |
| FL | FLOW LINE | CS | CONCRETE SURFACE |
| FL | FLOW LINE | CS | CONCRETE SURFACE |
| FL | FLOW LINE | CS | CONCRETE SURFACE |
| FL | FLOW LINE | CS | CONCRETE SURFACE |

DATE: APR 2023
 FILE NO: 28360
 AS SHOWN
 SHEET NUMBER: **31**
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 UNOC 1-800-222-1818

Westwood
 Westwood Professional Services, Inc.
 1228 S CLAYTON ST
 DENVER, CO 80202
 TEL: 720.482.9528
 ENGINEER: []
 ARCHITECT: []
 CIVIL: []

MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24,
TOWNSHIP 3 NORTH, RANGE 65 WEST OF THE 6TH PA. TOWN OF MEAD
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

DATE	APPROVED	DATE

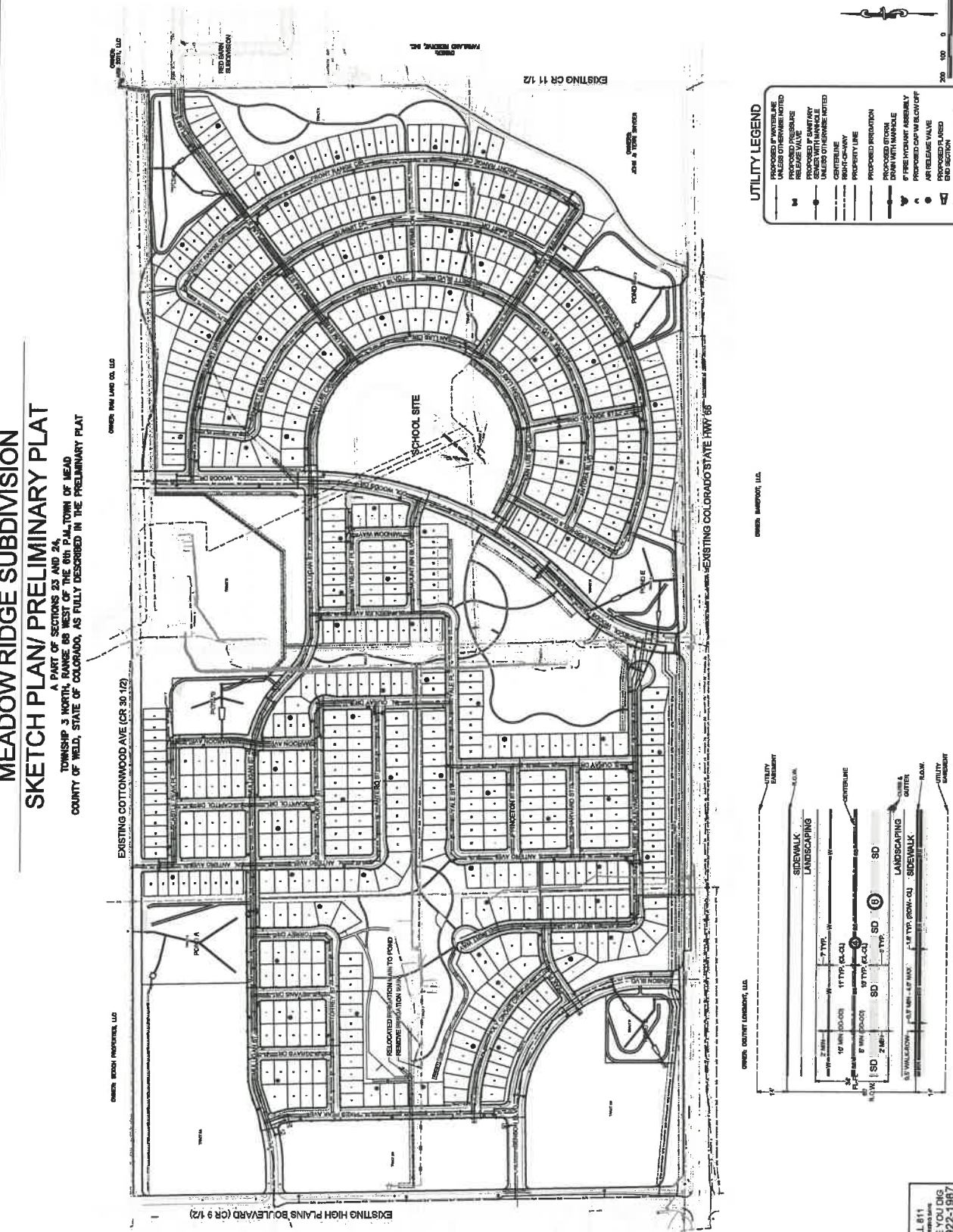
Westwood
ENGINEERING
1033 S DRY CREEK RD.
DENVER, CO 80210
TEL: 720.482.1920

CMR HOLDING COMPANY, LLC
1288 S CLAYTON ST
DENVER, CO 80210

MEADOW RIDGE SUBDIVISION
PRELIMINARY PLAT
PRELIMINARY OVERALL UTILITY PLAN

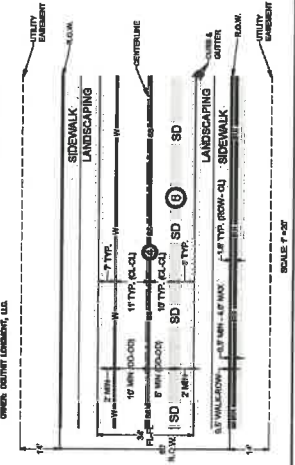
AS SHOWN
SCALE
DATE: APR 2023
FILE NO: 23030

32
SHEET NUMBER



UTILITY LEGEND

- PROPOSED WATERLINE
- UNLESS OTHERWISE NOTED
- PROPOSED SANITARY
- PROPOSED FIRE
- PROPOSED STORM
- PROPOSED CENTERLINE
- PROPOSED PROPERTY LINE
- PROPOSED PERMITS
- PROPOSED EROSION
- PROPOSED DOWN WITH MARKS
- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED CAP W/ BLOW OFF
- PROPOSED AIR RELEASE VALVE
- PROPOSED 24" DRAIN
- PROPOSED STORM MALET



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MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

A PART OF SECTIONS 33 AND 34,
TOWNSHIP 3 NORTH,
RANGE 66 WEST OF THE 6TH P.M., TOWN OF MEAD
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

OWNER: SEKICH PROPERTIES, LLC

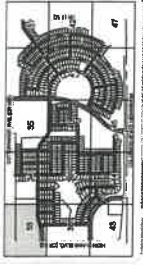
EXISTING COTTONWOOD AVE (CR 30 1/2)

EXISTING 12" WATERLINE

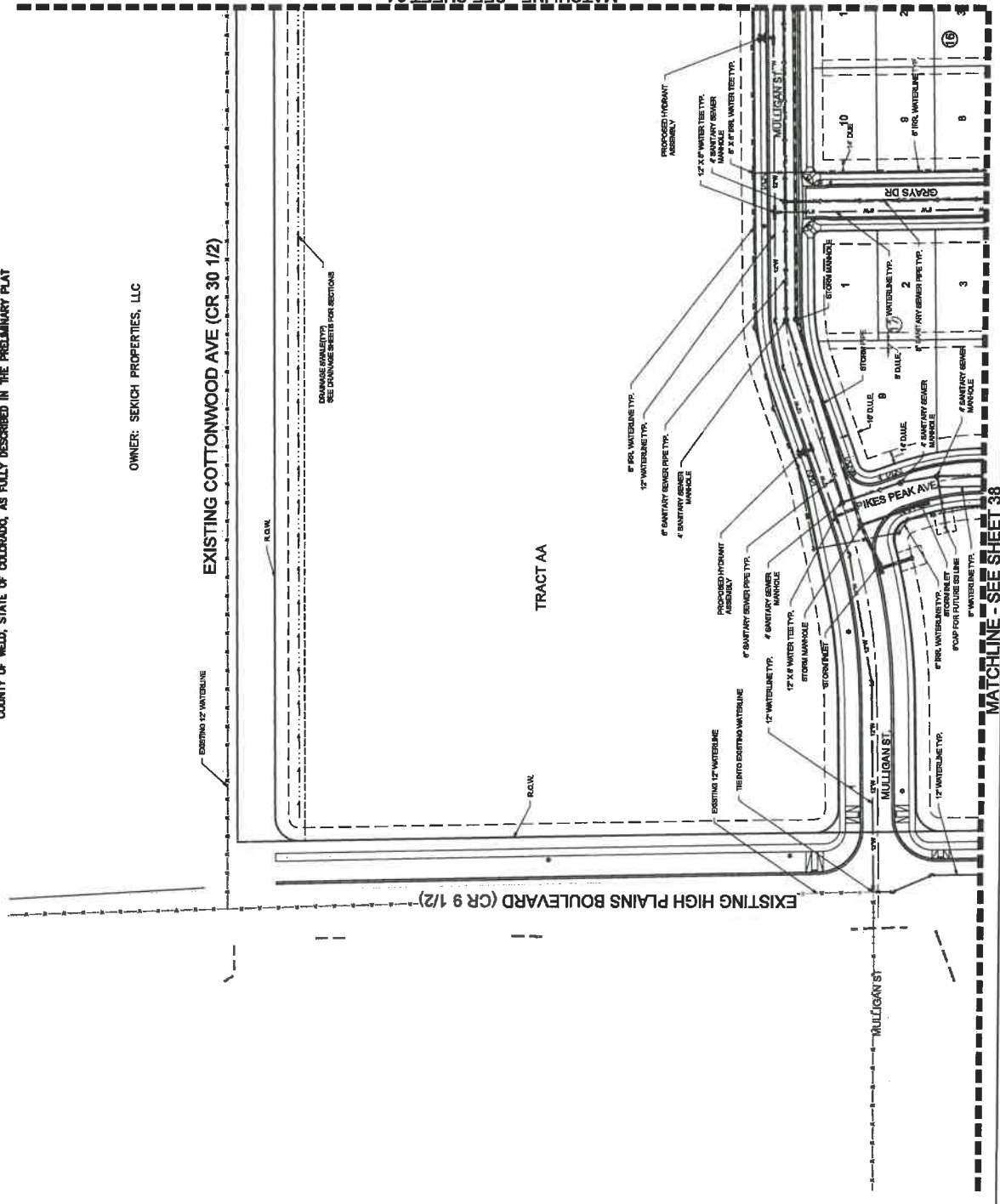
EXISTING HIGH PLAINS BOULEVARD (CR 9 1/2)

TRACT AA

MATCHLINE - SEE SHEET 34



- UTILITY LEGEND**
- PROPOSED 12" WATERLINE (UNLESS OTHERWISE NOTED)
 - EXISTING 12" WATERLINE
 - PROPOSED 8" WATER SERVICE LINE (UNLESS OTHERWISE NOTED)
 - PROPOSED 4" SANITARY SEWER MAIN (UNLESS OTHERWISE NOTED)
 - PROPOSED 8" SANITARY SEWER MAIN (UNLESS OTHERWISE NOTED)
 - CENTERLINE
 - RIGHT-OF-WAY
 - PROPERTY LINE
 - PROPOSED PROBABLIATION
 - PROPOSED STORM DRAIN WITH MANHOLE
 - PROPOSED FIRE HYDRANT ASSEMBLY
 - PROPOSED CAP W/ BLOW OFF
 - AIR RELEASE VALVE
 - PROPOSED FLARED END BRANCH
 - PROPOSED 3" TIE IN
 - PROPOSED 8" TIE IN
 - PROPOSED 10" TIE IN
 - PROPOSED 12" TIE IN
 - PROPOSED 15" TIE IN
 - PROPOSED 20" TIE IN



33
CALL 811
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1-800-922-1987

DATE: APR 2022	CHECKED BY: JAS	DATE: APR 2022	SCALE: AS SHOWN
FILE NO: 283980	PROJECT: MEADOW RIDGE SUBDIVISION PRELIMINARY PLAT	PREPARED BY: WESTWOOD PROFESSIONAL SERVICES, INC.	ENGINEER: WESTWOOD PROFESSIONAL SERVICES, INC.
DRAWN BY:		ENCL: 10033 8 CIVIL CHECK NO. 10033 8 CIVIL CHECK NO. 10033 8 CIVIL CHECK NO. 10033 8 CIVIL CHECK NO.	
PROJECT: MEADOW RIDGE SUBDIVISION PRELIMINARY PLAT		DRAWN BY: WESTWOOD PROFESSIONAL SERVICES, INC.	
PROJECT: MEADOW RIDGE SUBDIVISION PRELIMINARY PLAT		DRAWN BY: WESTWOOD PROFESSIONAL SERVICES, INC.	
PROJECT: MEADOW RIDGE SUBDIVISION PRELIMINARY PLAT		DRAWN BY: WESTWOOD PROFESSIONAL SERVICES, INC.	

MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

A PART OF SECTIONS 20 AND 24
TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH TOWN OF ARIZONA
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

OWNER: SEKICH PROPERTIES, LLC

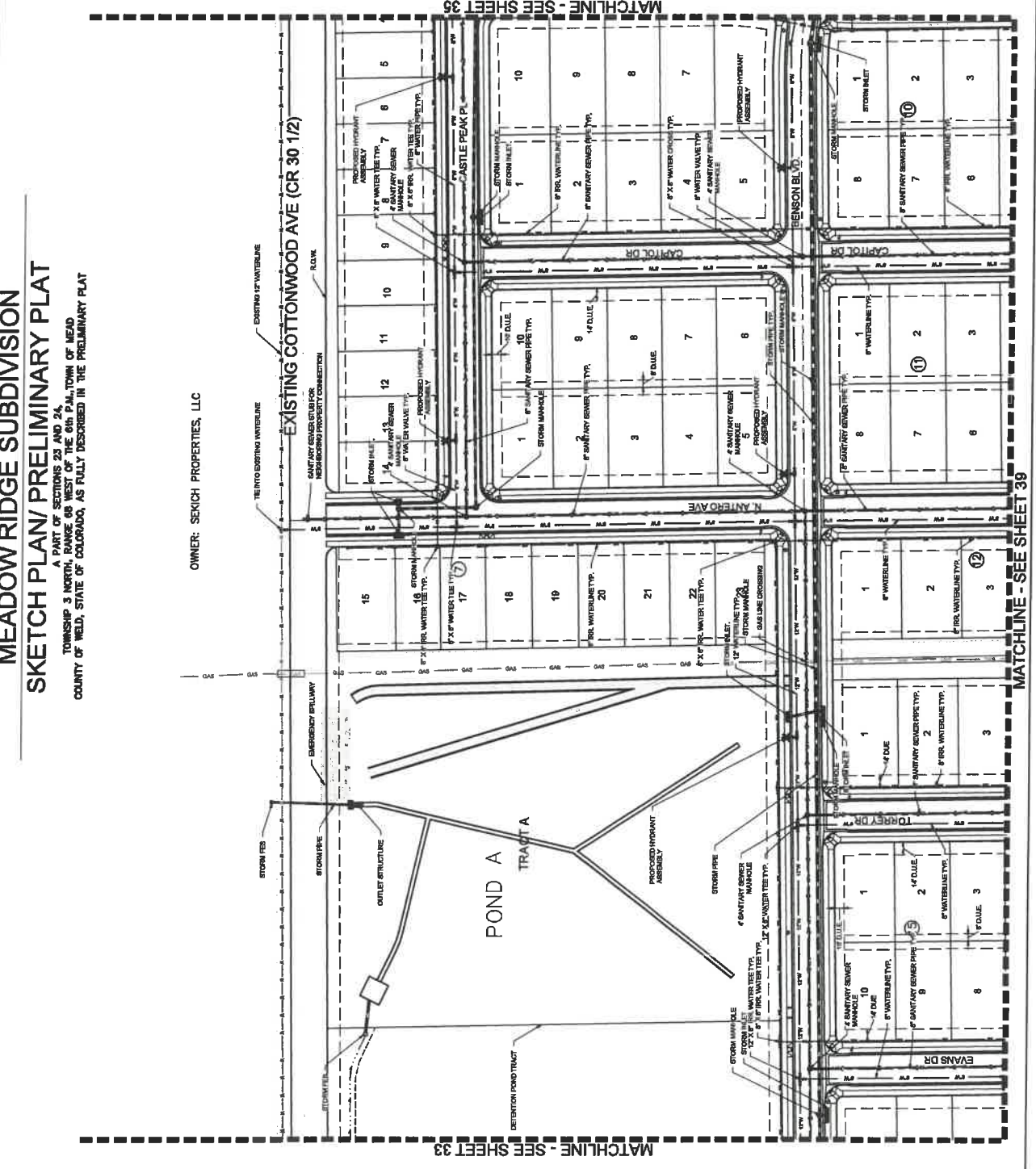
Westwood
ENGINEERING, P.C.
1200 S. CHERRY RD.
DENVER, CO 80210
TEL: 720.462.9200

CMR HOLDING COMPANY, LLC
1200 S. CLAYTON ST.
DENVER, CO 80210

DATE: 04/20/2010
CHECKED BY: [Signature]
AS SHOWN: [Signature]
SCALE: [Signature]

PRELIMINARY AREA UTILITY PLAN
PRELIMINARY PLAT
MEADOW RIDGE SUBDIVISION

34
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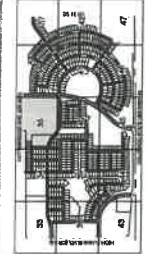
MATCHLINE - SEE SHEET 33
MATCHLINE - SEE SHEET 39

MEADOW RIDGE SUBDIVISION SKETCH PLAN/PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24
TOWNSHIP 3 NORTH, RANGE 68 WEST, 10TH PRINCIPAL MERIDIAN, TOWN OF LEGO,
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

OWNER: SERICH PROPERTIES, LLC

OWNER: RAM LAND CO, LLC



DATE	4/18/2022	28380
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SCALE	1"=40'	

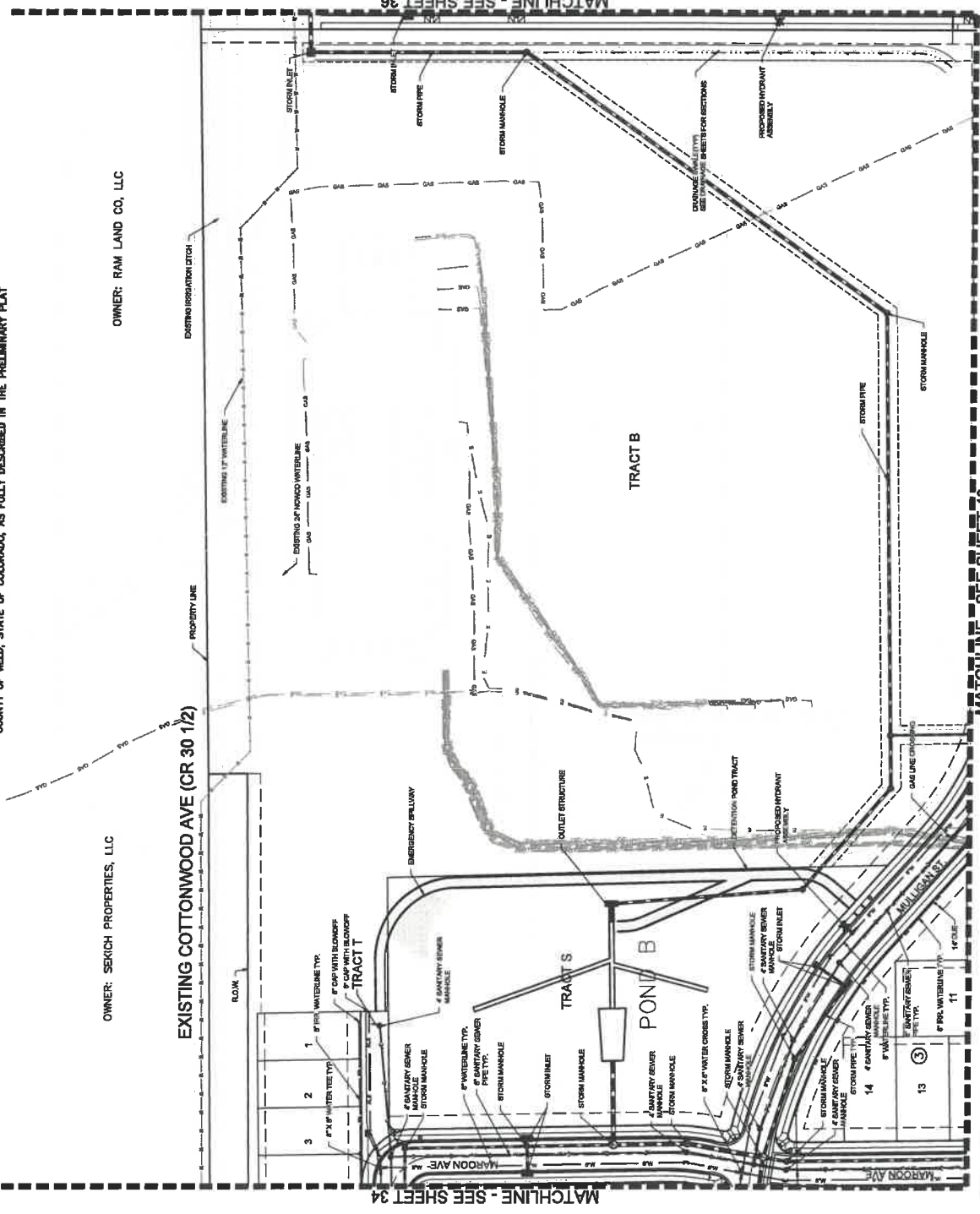
Westwood
Westwood Professional Services, Inc.
1288 S CLAYTON ST
DENVER, CO 80210

CRH HOLDING COMPANY, LLC
1288 S CLAYTON ST
DENVER, CO 80210

MEADOW RIDGE SUBDIVISION
PRELIMINARY PLAT
PRELIMINARY AREA UTILITY PLAN

DRAWN BY	SCALE
DATE	28380
CHECKED BY	TJO
SCALE	AS SHOWN

35
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UTILITY LEGEND

- PROPOSED 12" WATERLINE
- PROPOSED 12" SANITARY SEWER
- PROPOSED 12" STORM SEWER
- PROPOSED 12" WATER MAIN
- PROPOSED 12" SANITARY MAIN
- PROPOSED 12" STORM MAIN
- PROPOSED 12" WATER CROSS
- PROPOSED 12" SANITARY CROSS
- PROPOSED 12" STORM CROSS
- PROPOSED 12" WATER VALVE
- PROPOSED 12" SANITARY VALVE
- PROPOSED 12" STORM VALVE
- PROPOSED 12" WATER RELEASE VALVE
- PROPOSED 12" SANITARY RELEASE VALVE
- PROPOSED 12" STORM RELEASE VALVE
- PROPOSED 12" WATER ASSEMBLY
- PROPOSED 12" SANITARY ASSEMBLY
- PROPOSED 12" STORM ASSEMBLY
- PROPOSED 12" WATER AIR RELEASE VALVE
- PROPOSED 12" SANITARY AIR RELEASE VALVE
- PROPOSED 12" STORM AIR RELEASE VALVE
- PROPOSED 12" WATER CLEAN OUT
- PROPOSED 12" SANITARY CLEAN OUT
- PROPOSED 12" STORM CLEAN OUT



MATCHLINE - SEE SHEET 35

MATCHLINE - SEE SHEET 34

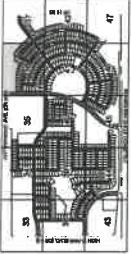
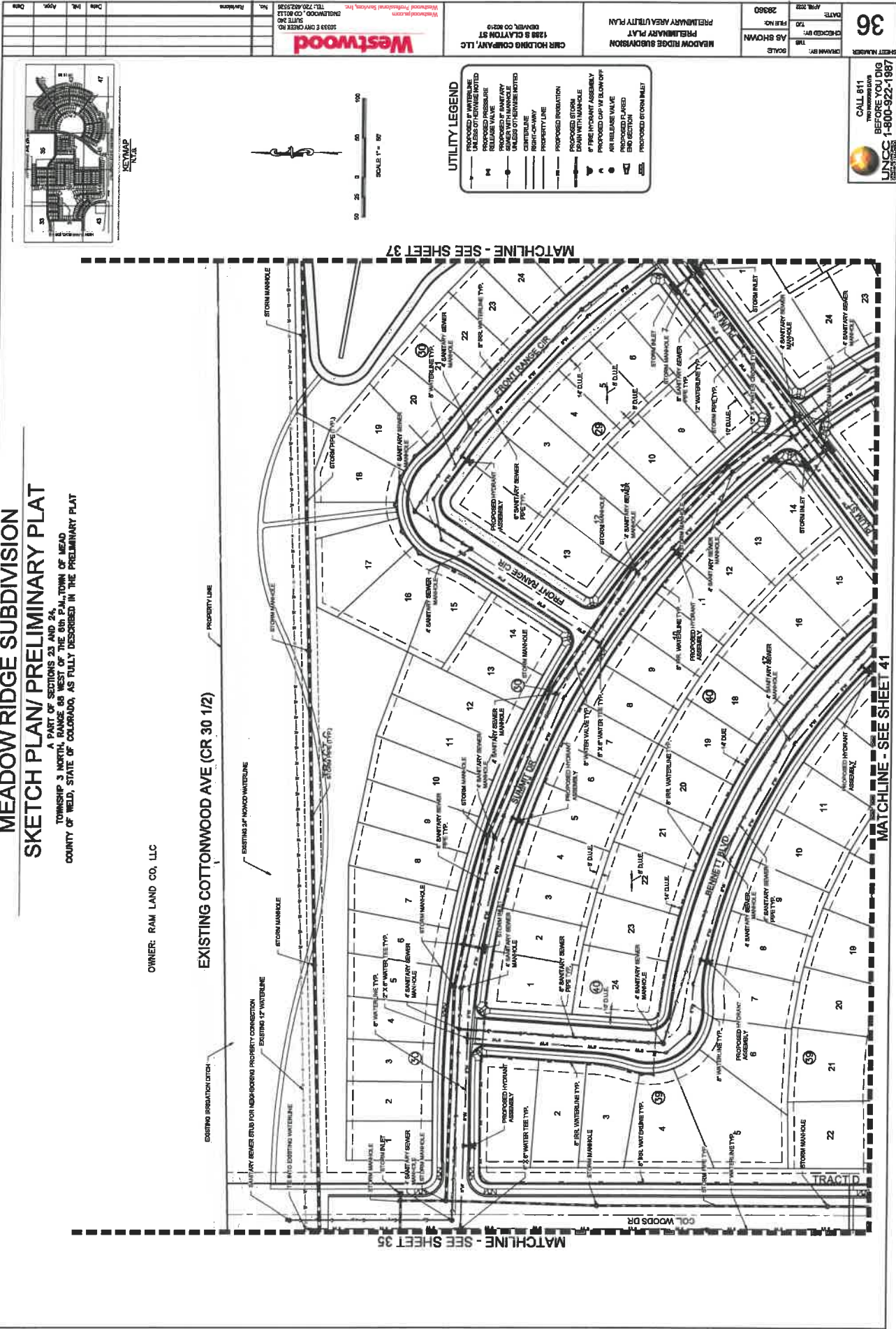
MATCHLINE - SEE SHEET 40

MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24,
TOWNSHIP 3 NORTH, RANGE 66 WEST OF THE 6TH P.M., TOWN OF MEAD,
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

OWNER: RAM LAND CO, LLC

EXISTING COTTONWOOD AVE (CR 30 1/2)



UTILITY LEGEND	
[Symbol]	PROPOSED WATERLINE
[Symbol]	EXISTING WATERLINE
[Symbol]	PROPOSED SEWER
[Symbol]	EXISTING SEWER
[Symbol]	PROPOSED STORM
[Symbol]	EXISTING STORM
[Symbol]	PROPOSED HYDRANT ASSEMBLY
[Symbol]	EXISTING HYDRANT ASSEMBLY
[Symbol]	PROPOSED FIRE HYDRANT ASSEMBLY
[Symbol]	EXISTING FIRE HYDRANT ASSEMBLY
[Symbol]	PROPOSED AIR RELEASE VALVE
[Symbol]	EXISTING AIR RELEASE VALVE
[Symbol]	PROPOSED 12" WATER MAIN
[Symbol]	EXISTING 12" WATER MAIN
[Symbol]	PROPOSED 18" WATER MAIN
[Symbol]	EXISTING 18" WATER MAIN
[Symbol]	PROPOSED 24" WATER MAIN
[Symbol]	EXISTING 24" WATER MAIN
[Symbol]	PROPOSED 30" WATER MAIN
[Symbol]	EXISTING 30" WATER MAIN
[Symbol]	PROPOSED 36" WATER MAIN
[Symbol]	EXISTING 36" WATER MAIN
[Symbol]	PROPOSED 42" WATER MAIN
[Symbol]	EXISTING 42" WATER MAIN
[Symbol]	PROPOSED 48" WATER MAIN
[Symbol]	EXISTING 48" WATER MAIN
[Symbol]	PROPOSED 54" WATER MAIN
[Symbol]	EXISTING 54" WATER MAIN
[Symbol]	PROPOSED 60" WATER MAIN
[Symbol]	EXISTING 60" WATER MAIN
[Symbol]	PROPOSED 66" WATER MAIN
[Symbol]	EXISTING 66" WATER MAIN
[Symbol]	PROPOSED 72" WATER MAIN
[Symbol]	EXISTING 72" WATER MAIN
[Symbol]	PROPOSED 78" WATER MAIN
[Symbol]	EXISTING 78" WATER MAIN
[Symbol]	PROPOSED 84" WATER MAIN
[Symbol]	EXISTING 84" WATER MAIN
[Symbol]	PROPOSED 90" WATER MAIN
[Symbol]	EXISTING 90" WATER MAIN
[Symbol]	PROPOSED 96" WATER MAIN
[Symbol]	EXISTING 96" WATER MAIN
[Symbol]	PROPOSED 102" WATER MAIN
[Symbol]	EXISTING 102" WATER MAIN
[Symbol]	PROPOSED 108" WATER MAIN
[Symbol]	EXISTING 108" WATER MAIN
[Symbol]	PROPOSED 114" WATER MAIN
[Symbol]	EXISTING 114" WATER MAIN
[Symbol]	PROPOSED 120" WATER MAIN
[Symbol]	EXISTING 120" WATER MAIN

36
DATE: APR 2023
CHECKED BY: [Name]
AS SHOWN
SCALE: [Scale]
DRAWN BY: [Name]
PRELIMINARY PLAT
PRELIMINARY AREA UTILITY PLAN
MEADOW RIDGE SUBDIVISION
1228 S CLAYTON ST
DENVER, CO 80210
CRR HOLDING COMPANY, LLC
Westwood
Westwood (Professional Services, Inc.)
10333 E CHRY CHERRY NO. 1
DENVER, CO 80231
TEL: 720.402.5288

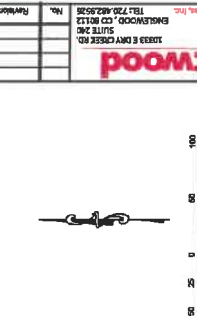
CALL 811
BEFORE YOU DIG
UNCC 1-800-922-1987

MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24,
TOWNSHIP 3 NORTH, RANGE 65 WEST OF THE 6TH PAULDINI OF MEAD
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

OWNER: RAM LAND CO, LLC

OWNER:
ARB 2011, LLC

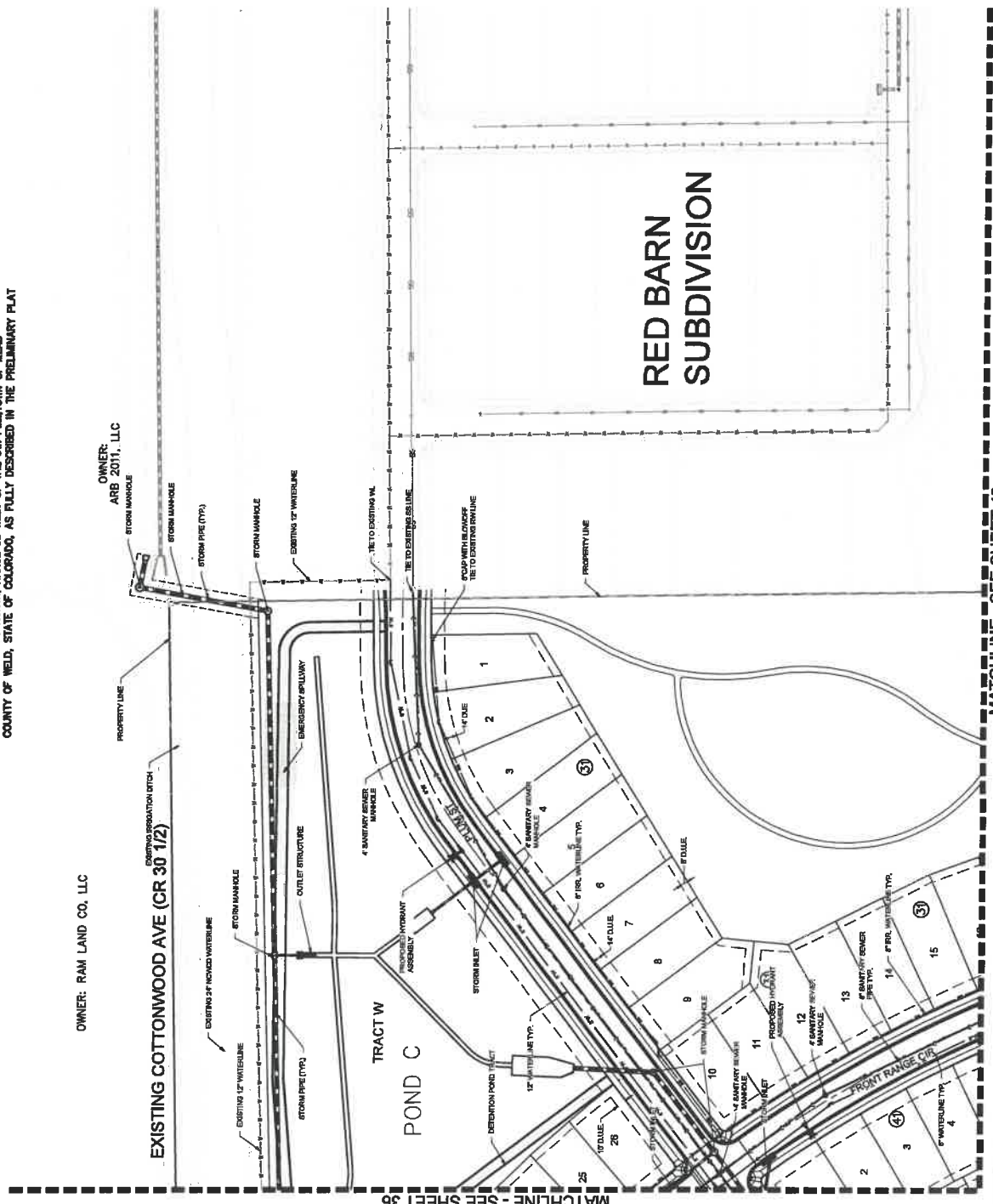


MATCHLINE - SEE SHEET 36

MATCHLINE - SEE SHEET 42

UTILITY LEGEND

- PROPOSED 8" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 12" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 24" NOUNDED WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 4" SANITARY SEWER UNLESS OTHERWISE NOTED
- PROPOSED 6" SANITARY SEWER UNLESS OTHERWISE NOTED
- PROPOSED 8" SANITARY SEWER UNLESS OTHERWISE NOTED
- PROPOSED 12" SANITARY SEWER UNLESS OTHERWISE NOTED
- PROPOSED 24" SANITARY SEWER UNLESS OTHERWISE NOTED
- PROPOSED 12" WATER MANSION
- PROPOSED 24" WATER MANSION
- PROPOSED 48" WATER MANSION
- PROPOSED 12" FIRE HYDRANT ASSEMBLY
- PROPOSED 24" FIRE HYDRANT ASSEMBLY
- PROPOSED 48" FIRE HYDRANT ASSEMBLY
- PROPOSED 12" AIR RELEASE VALVE
- PROPOSED 24" AIR RELEASE VALVE
- PROPOSED 48" AIR RELEASE VALVE
- PROPOSED 12" STORM MANHOLE
- PROPOSED 24" STORM MANHOLE
- PROPOSED 48" STORM MANHOLE



MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24
TOWNSHIP 3 NORTH, RANGE 69 WEST OF THE 6TH PLAT TOWN OF MEAD
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

DATE	APPROVED BY	SCALE
APR 2023	AS SHOWN	AS SHOWN

DWG NO.	DATE	APP.	CHK.

Westwood
3033 S GRY CREEK RD
ENGLEWOOD, CO 80155
TEL: 720.825.3226

Westwood Professional Services, Inc.
www.westwood.com

CMR HOLDING COMPANY, LLC
1328 S CLAYTON ST
DENVER, CO 80219

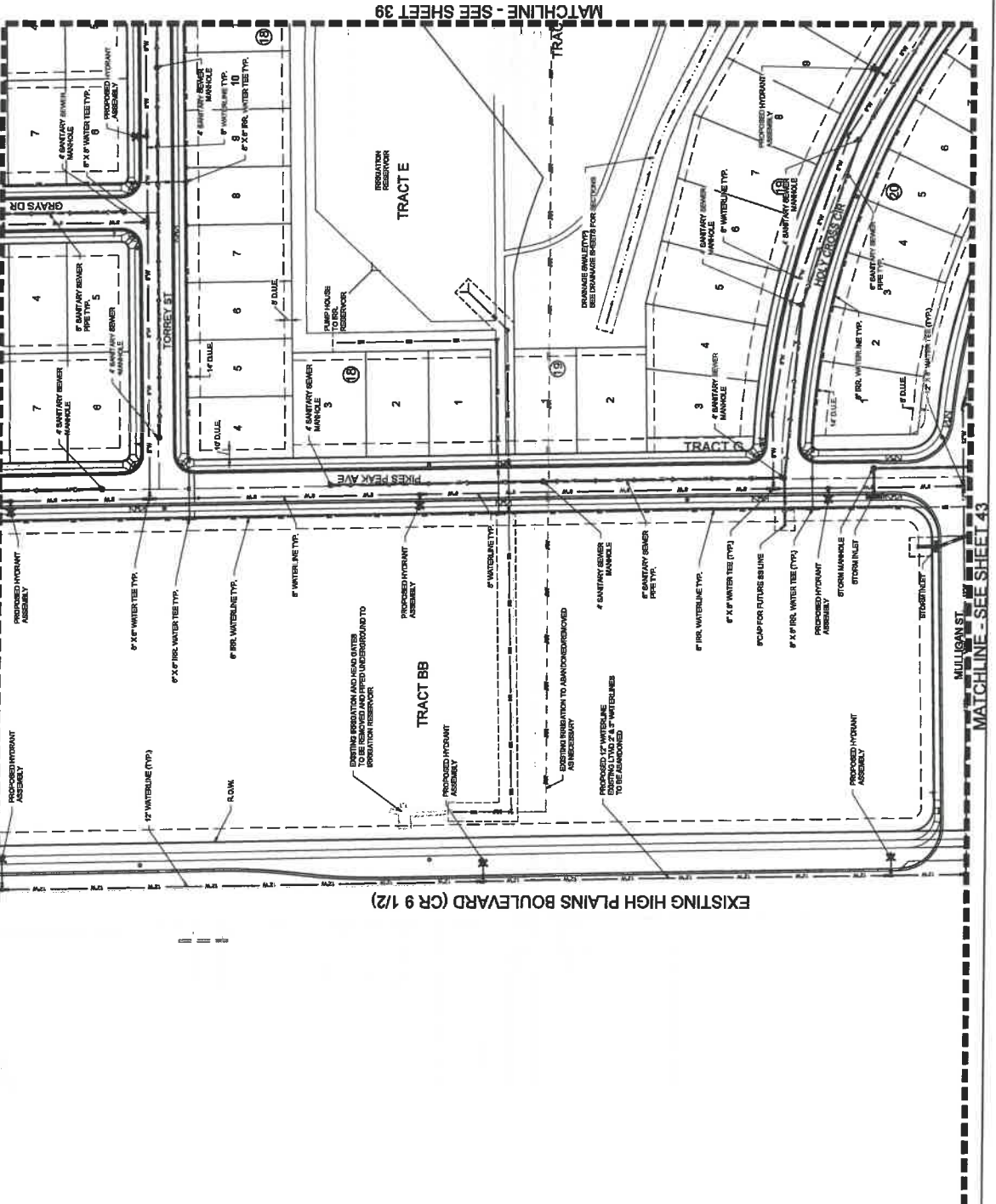
PRELIMINARY PLAT
PRELIMINARY AREA UTILITY PLAN

SHEET NUMBER
38

CALL 611
FOR EMERGENCY
REPORTING
UNCC 1-800-822-1887

MATCHLINE - SEE SHEET 33

MATCHLINE - SEE SHEET 39



KEYMAP





**MEADOW RIDGE SUBDIVISION
SKETCH PLAN/ PRELIMINARY PLAT**

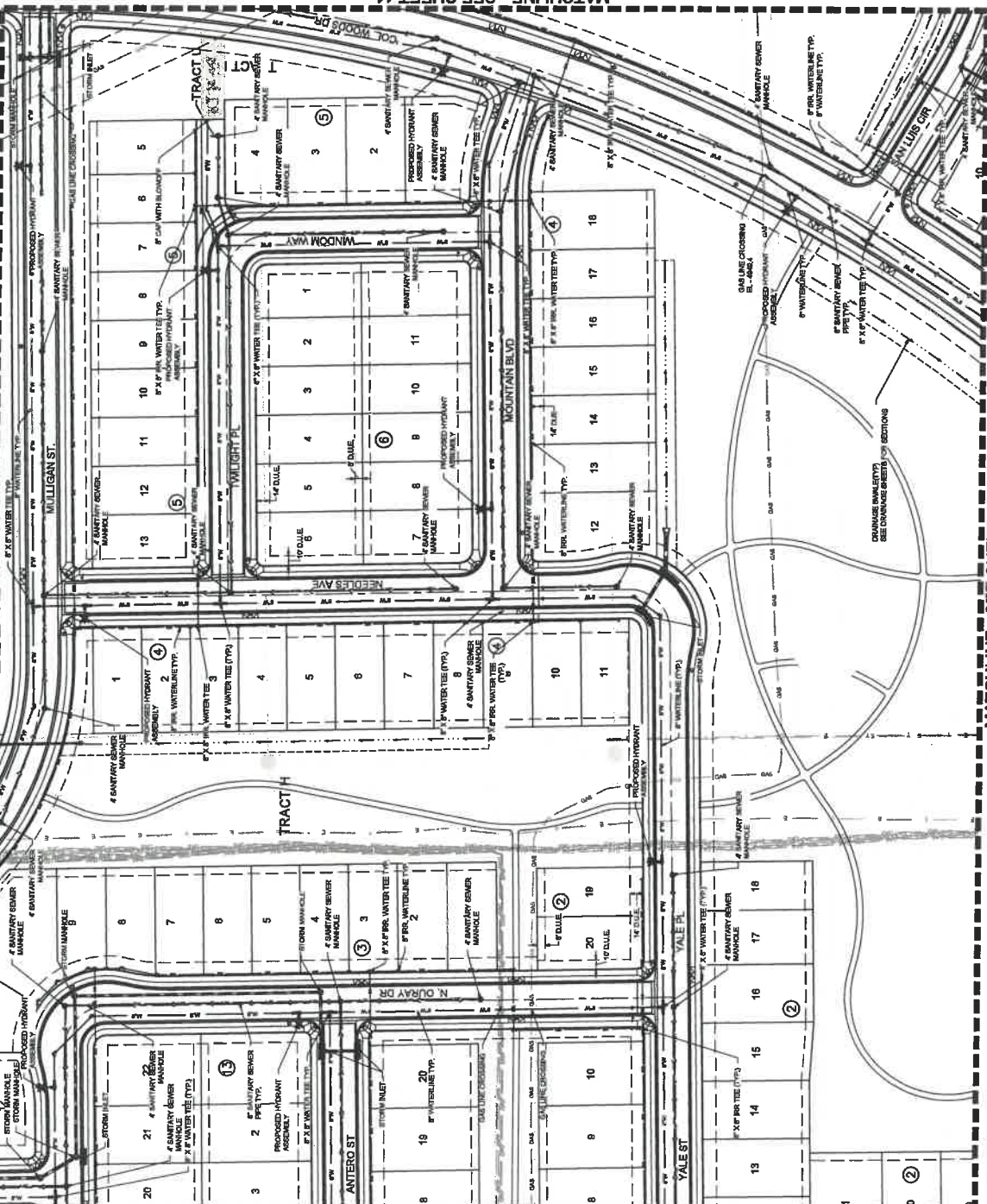
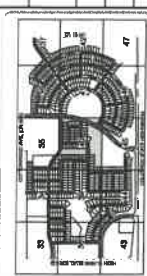
TOWNSHIP 3 NORTH, RANGE 60 WEST, COUNTY OF WELD, STATE OF COLORADO AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

MATCHLINE - SEE SHEET 35

MATCHLINE - SEE SHEET 39

MATCHLINE - SEE SHEET 45

 SCALE 1" = 50' 	UTILITY LEGEND PROPOSED 4" WATERLINE PROPOSED 6" WATERLINE PROPOSED 8" WATERLINE PROPOSED 12" WATERLINE PROPOSED 18" WATERLINE PROPOSED 24" WATERLINE PROPOSED 30" WATERLINE PROPOSED 36" WATERLINE PROPOSED 42" WATERLINE PROPOSED 48" WATERLINE PROPOSED 54" WATERLINE PROPOSED 60" WATERLINE PROPOSED 66" WATERLINE PROPOSED 72" WATERLINE PROPOSED 78" WATERLINE PROPOSED 84" WATERLINE PROPOSED 90" WATERLINE PROPOSED 96" WATERLINE PROPOSED 102" WATERLINE PROPOSED 108" WATERLINE PROPOSED 114" WATERLINE PROPOSED 120" WATERLINE PROPOSED 126" WATERLINE PROPOSED 132" WATERLINE PROPOSED 138" WATERLINE PROPOSED 144" WATERLINE PROPOSED 150" WATERLINE PROPOSED 156" WATERLINE PROPOSED 162" WATERLINE PROPOSED 168" WATERLINE PROPOSED 174" WATERLINE PROPOSED 180" WATERLINE PROPOSED 186" WATERLINE PROPOSED 192" WATERLINE PROPOSED 198" WATERLINE PROPOSED 204" WATERLINE PROPOSED 210" WATERLINE PROPOSED 216" WATERLINE PROPOSED 222" WATERLINE PROPOSED 228" WATERLINE PROPOSED 234" WATERLINE PROPOSED 240" WATERLINE PROPOSED 246" WATERLINE PROPOSED 252" WATERLINE PROPOSED 258" WATERLINE PROPOSED 264" WATERLINE PROPOSED 270" WATERLINE PROPOSED 276" WATERLINE PROPOSED 282" WATERLINE PROPOSED 288" WATERLINE PROPOSED 294" WATERLINE PROPOSED 300" WATERLINE PROPOSED 306" WATERLINE PROPOSED 312" WATERLINE PROPOSED 318" WATERLINE PROPOSED 324" WATERLINE PROPOSED 330" WATERLINE PROPOSED 336" WATERLINE PROPOSED 342" WATERLINE PROPOSED 348" WATERLINE PROPOSED 354" WATERLINE PROPOSED 360" WATERLINE PROPOSED 366" WATERLINE PROPOSED 372" WATERLINE PROPOSED 378" WATERLINE PROPOSED 384" WATERLINE PROPOSED 390" WATERLINE PROPOSED 396" WATERLINE PROPOSED 402" WATERLINE PROPOSED 408" WATERLINE PROPOSED 414" WATERLINE PROPOSED 420" WATERLINE PROPOSED 426" WATERLINE PROPOSED 432" WATERLINE PROPOSED 438" WATERLINE PROPOSED 444" WATERLINE PROPOSED 450" WATERLINE PROPOSED 456" WATERLINE PROPOSED 462" WATERLINE PROPOSED 468" WATERLINE PROPOSED 474" WATERLINE PROPOSED 480" WATERLINE PROPOSED 486" WATERLINE PROPOSED 492" WATERLINE PROPOSED 498" WATERLINE PROPOSED 504" WATERLINE PROPOSED 510" WATERLINE PROPOSED 516" WATERLINE PROPOSED 522" WATERLINE PROPOSED 528" WATERLINE PROPOSED 534" WATERLINE PROPOSED 540" WATERLINE PROPOSED 546" WATERLINE PROPOSED 552" WATERLINE PROPOSED 558" WATERLINE PROPOSED 564" WATERLINE PROPOSED 570" WATERLINE PROPOSED 576" WATERLINE PROPOSED 582" WATERLINE PROPOSED 588" WATERLINE PROPOSED 594" WATERLINE PROPOSED 600" WATERLINE PROPOSED 606" WATERLINE PROPOSED 612" WATERLINE PROPOSED 618" WATERLINE PROPOSED 624" WATERLINE PROPOSED 630" WATERLINE PROPOSED 636" WATERLINE PROPOSED 642" WATERLINE PROPOSED 648" WATERLINE PROPOSED 654" WATERLINE PROPOSED 660" WATERLINE PROPOSED 666" WATERLINE PROPOSED 672" WATERLINE PROPOSED 678" WATERLINE PROPOSED 684" WATERLINE PROPOSED 690" WATERLINE PROPOSED 696" WATERLINE PROPOSED 702" WATERLINE PROPOSED 708" WATERLINE PROPOSED 714" WATERLINE PROPOSED 720" WATERLINE PROPOSED 726" WATERLINE PROPOSED 732" WATERLINE PROPOSED 738" WATERLINE PROPOSED 744" WATERLINE PROPOSED 750" WATERLINE PROPOSED 756" WATERLINE PROPOSED 762" WATERLINE PROPOSED 768" WATERLINE PROPOSED 774" WATERLINE PROPOSED 780" WATERLINE PROPOSED 786" WATERLINE PROPOSED 792" WATERLINE PROPOSED 798" WATERLINE PROPOSED 804" WATERLINE PROPOSED 810" WATERLINE PROPOSED 816" WATERLINE PROPOSED 822" WATERLINE PROPOSED 828" WATERLINE PROPOSED 834" WATERLINE PROPOSED 840" WATERLINE PROPOSED 846" WATERLINE PROPOSED 852" WATERLINE PROPOSED 858" WATERLINE PROPOSED 864" WATERLINE PROPOSED 870" WATERLINE PROPOSED 876" WATERLINE PROPOSED 882" WATERLINE PROPOSED 888" WATERLINE PROPOSED 894" WATERLINE PROPOSED 900" WATERLINE PROPOSED 906" WATERLINE PROPOSED 912" WATERLINE PROPOSED 918" WATERLINE PROPOSED 924" WATERLINE PROPOSED 930" WATERLINE PROPOSED 936" WATERLINE PROPOSED 942" WATERLINE PROPOSED 948" WATERLINE PROPOSED 954" WATERLINE PROPOSED 960" WATERLINE PROPOSED 966" WATERLINE PROPOSED 972" WATERLINE PROPOSED 978" WATERLINE PROPOSED 984" WATERLINE PROPOSED 990" WATERLINE PROPOSED 996" WATERLINE PROPOSED 1000" WATERLINE	Westwood 1200 S CLAYTON ST DENVER, CO 80210 720.520.4500 westwood.com	CNR HOLDING COMPANY, LLC 1200 S CLAYTON ST DENVER, CO 80210	MEADOW RIDGE SUBDIVISION PRELIMINARY PLAT PRELIMINARY AREA UTILITY PLAN	DATE: April 2025 DRAWN BY: MS SHOWN CHECKED BY: MS SHOWN FILE NO: 229980
					SHEET NUMBER: 40 CALL 811 BEFORE YOU DIG UNCCC 1-800-922-1987

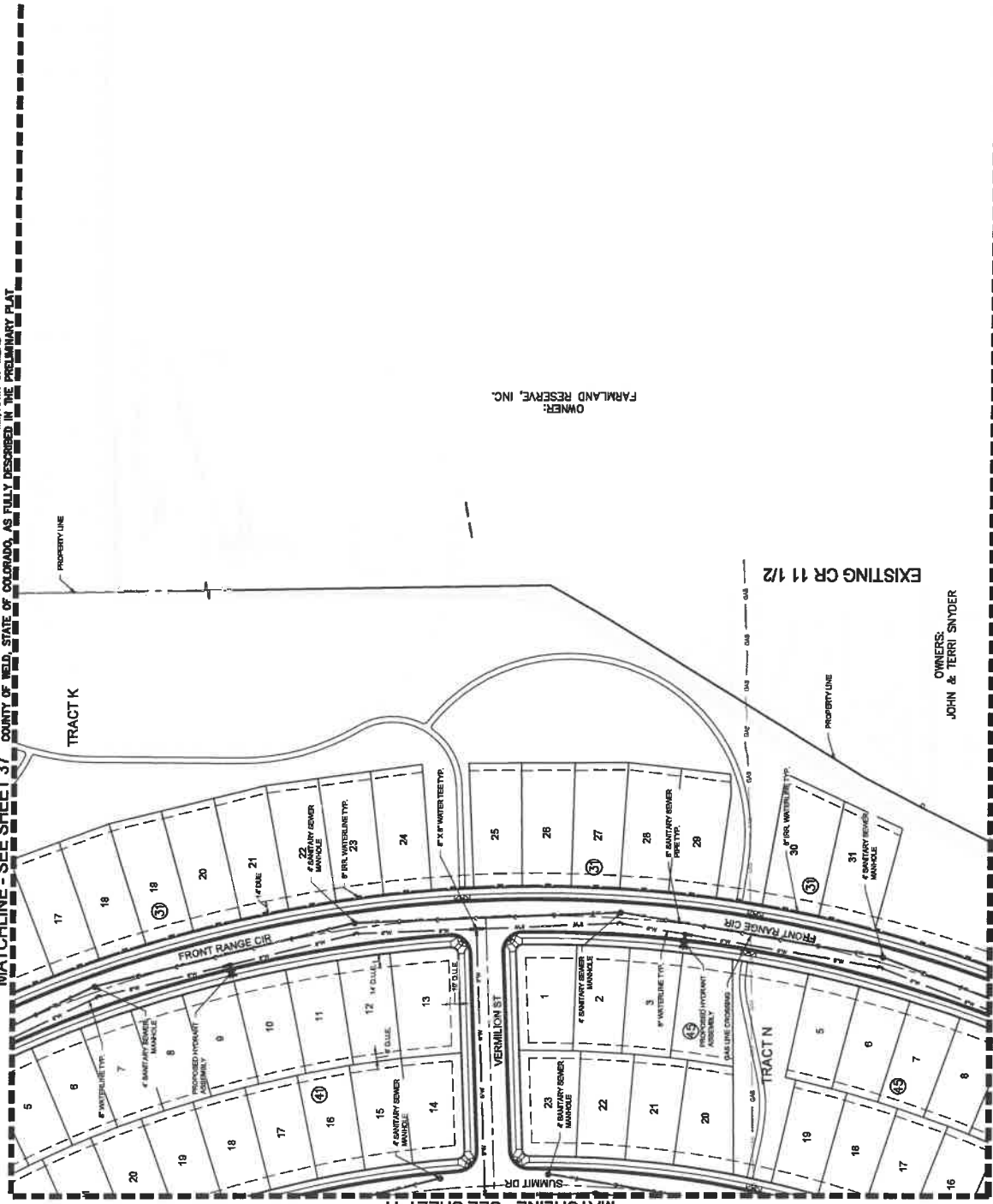


MATCHLINE - SEE SHEET 41

MEADOW RIDGE SUBDIVISION SKETCH PLAN/PRELIMINARY PLAT

TOWNSHIP 3 NORTH, RANGE 68 WEST, COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

MATCHLINE - SEE SHEET 37



DWG	DATE	BY	CHKD	APP'D

Westwood
Westwood Professional Services, Inc.
 ENGINEERS, ARCHITECTS & ENVIRONMENTAL PLANNERS
 1203 S. DRY CREEK RD.
 SUITE 205
 DENVER, CO 80202

CMR HOLDING COMPANY, LLC
 1208 S CLAYTON ST.
 DENVER, CO 80210

MEADOW RIDGE SUBDIVISION
 PRELIMINARY PLAT
 PRELIMINARY AREA UTILITY PLAN

DATE: 04/14/2011	DRAWN BY: [blank]
FILE NO: 28360	CHECKED BY: [blank]
AS SHOWN	SCALE:

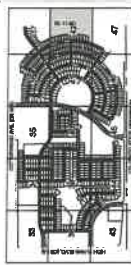
42

CALL 811
 BEFORE YOU DIG

 UNICC
 1-800-662-1967

UTILITY LEGEND

	PROPOSED 8" WATERLINE
	PROPOSED 12" GAS
	PROPOSED FIRE HYDRANT ASSEMBLY
	PROPOSED FIRE HYDRANT VALVE
	PROPOSED 18" SANITARY SEWER MANHOLE
	PROPOSED 8" SANITARY SEWER PIPE (TYP.)
	PROPOSED 4" FIRE HYDRANT PIPE (TYP.)
	PROPOSED 4" FIRE HYDRANT ASSEMBLY
	PROPOSED 4" FIRE HYDRANT VALVE
	PROPOSED 18" SANITARY SEWER MANHOLE
	PROPOSED FIRE HYDRANT ASSEMBLY
	PROPOSED FIRE HYDRANT VALVE
	PROPOSED 18" SANITARY SEWER MANHOLE
	PROPOSED FIRE HYDRANT ASSEMBLY
	PROPOSED FIRE HYDRANT VALVE
	PROPOSED 18" SANITARY SEWER MANHOLE



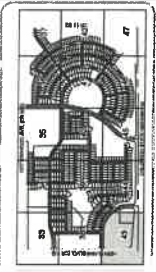
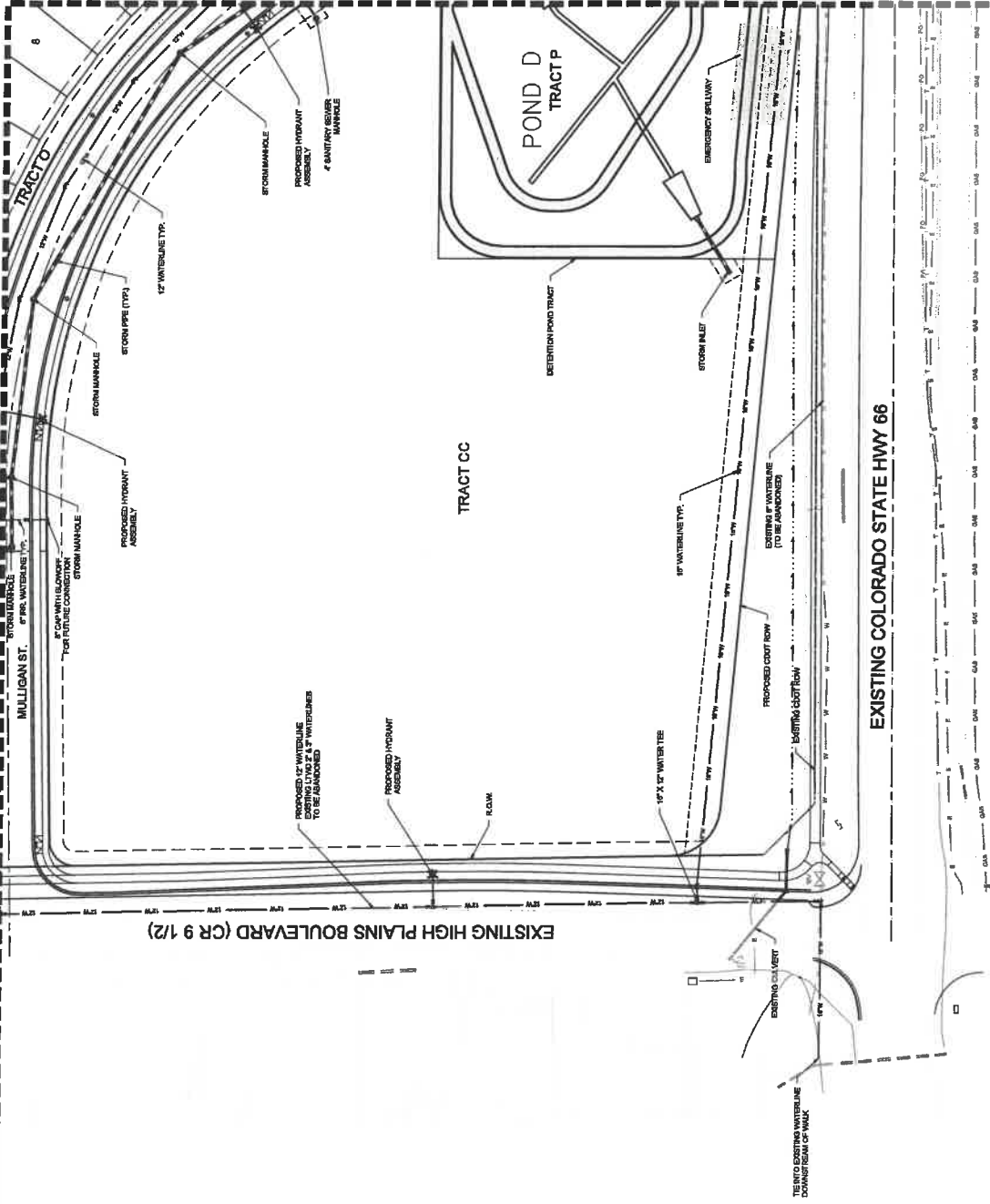
PROPERTY RECORDS FOR THE STATE OF COLORADO: DISTRICT 15, COUNTY OF WELD, BOOK 120, PAGE 100 (2011-04-14) (2011-04-14) (2011-04-14)

MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24,
TOWNSHIP 3 NORTH, RANGE 65 WEST OF THE 90th PAUL TOWN OF MEAD
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

MATCHLINE - SEE SHEET 38

MATCHLINE - SEE SHEET 44



UTILITY LEGEND

- PROPOSED 6\"/>

CALL 611
BEFORE YOU DIG
UNCC
1-800-922-1987

DATE: 2/28/10	DATE: 2/28/10	DATE: 2/28/10	DATE: 2/28/10	DATE: 2/28/10	DATE: 2/28/10	DATE: 2/28/10	DATE: 2/28/10
FILE NO: 23369	FILE NO: 23369	FILE NO: 23369	FILE NO: 23369	FILE NO: 23369	FILE NO: 23369	FILE NO: 23369	FILE NO: 23369
AS SHOWN	AS SHOWN	AS SHOWN	AS SHOWN	AS SHOWN	AS SHOWN	AS SHOWN	AS SHOWN
SCALE	SCALE	SCALE	SCALE	SCALE	SCALE	SCALE	SCALE
CHECKED BY: [Name]	CHECKED BY: [Name]	CHECKED BY: [Name]	CHECKED BY: [Name]	CHECKED BY: [Name]	CHECKED BY: [Name]	CHECKED BY: [Name]	CHECKED BY: [Name]
DESIGNED BY: [Name]	DESIGNED BY: [Name]	DESIGNED BY: [Name]	DESIGNED BY: [Name]	DESIGNED BY: [Name]	DESIGNED BY: [Name]	DESIGNED BY: [Name]	DESIGNED BY: [Name]
PROJECT NUMBER: 43	PROJECT NUMBER: 43	PROJECT NUMBER: 43	PROJECT NUMBER: 43	PROJECT NUMBER: 43	PROJECT NUMBER: 43	PROJECT NUMBER: 43	PROJECT NUMBER: 43
MEADOW RIDGE SUBDIVISION PRELIMINARY AREA UTILITY PLAN	CARR HOLDING COMPANY, LLC 1228 S CLAYTON ST DENVER, CO 80219	Westwood 1233 E CHERRY RD DENVER, CO 80218 Westwood.com TEL: 720.422.8530	1033 E CHERRY RD DENVER, CO 80218	1033 E CHERRY RD DENVER, CO 80218	1033 E CHERRY RD DENVER, CO 80218	1033 E CHERRY RD DENVER, CO 80218	1033 E CHERRY RD DENVER, CO 80218

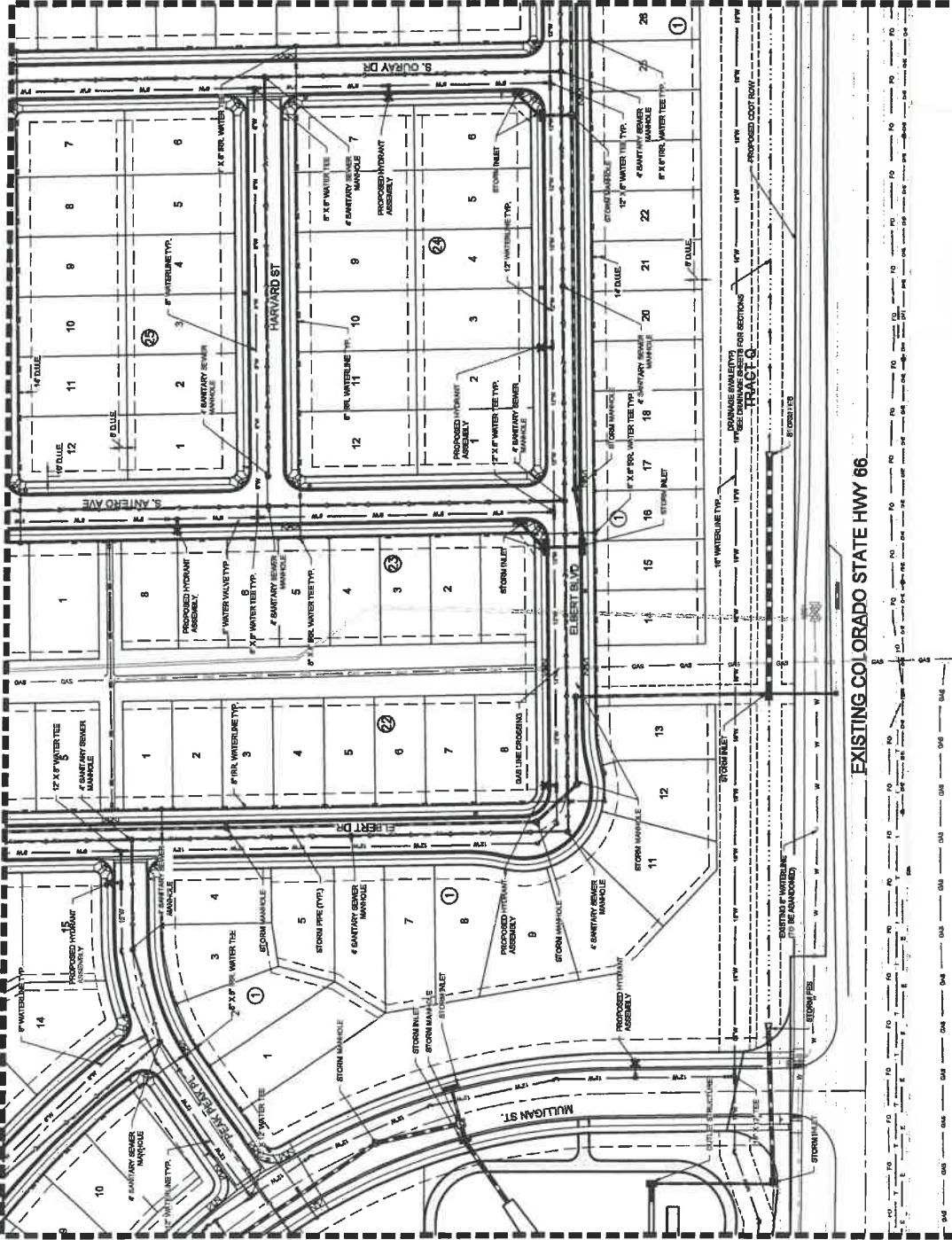
MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24
TOWNSHIP 3 NORTH, RANGE 60
THE 6TH PLAT, TOWN OF MEAD
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

MATCHLINE - SEE SHEET 39

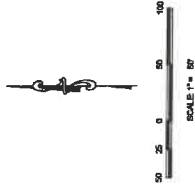
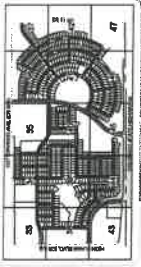
MATCHLINE - SEE SHEET 43

MATCHLINE - SEE SHEET 45



OWNER: DOUTHIT LONGMONT, LLC.

EXISTING COLORADO STATE HWY 66



UTILITY LEGEND

- PROPOSED 8" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 12" WATER MAIN
- PROPOSED 18" WATER MAIN
- PROPOSED 24" WATER MAIN
- PROPOSED 30" WATER MAIN
- PROPOSED 36" WATER MAIN
- PROPOSED 42" WATER MAIN
- PROPOSED 48" WATER MAIN
- PROPOSED 54" WATER MAIN
- PROPOSED 60" WATER MAIN
- PROPOSED 66" WATER MAIN
- PROPOSED 72" WATER MAIN
- PROPOSED 78" WATER MAIN
- PROPOSED 84" WATER MAIN
- PROPOSED 90" WATER MAIN
- PROPOSED 96" WATER MAIN
- PROPOSED 102" WATER MAIN
- PROPOSED 108" WATER MAIN
- PROPOSED 114" WATER MAIN
- PROPOSED 120" WATER MAIN
- PROPOSED 126" WATER MAIN
- PROPOSED 132" WATER MAIN
- PROPOSED 138" WATER MAIN
- PROPOSED 144" WATER MAIN
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- PROPOSED 174" WATER MAIN
- PROPOSED 180" WATER MAIN
- PROPOSED 186" WATER MAIN
- PROPOSED 192" WATER MAIN
- PROPOSED 198" WATER MAIN
- PROPOSED 204" WATER MAIN
- PROPOSED 210" WATER MAIN
- PROPOSED 216" WATER MAIN
- PROPOSED 222" WATER MAIN
- PROPOSED 228" WATER MAIN
- PROPOSED 234" WATER MAIN
- PROPOSED 240" WATER MAIN
- PROPOSED 246" WATER MAIN
- PROPOSED 252" WATER MAIN
- PROPOSED 258" WATER MAIN
- PROPOSED 264" WATER MAIN
- PROPOSED 270" WATER MAIN
- PROPOSED 276" WATER MAIN
- PROPOSED 282" WATER MAIN
- PROPOSED 288" WATER MAIN
- PROPOSED 294" WATER MAIN
- PROPOSED 300" WATER MAIN

44
UNCC
CALL 811
BEFORE YOU DIG
1-800-922-1887

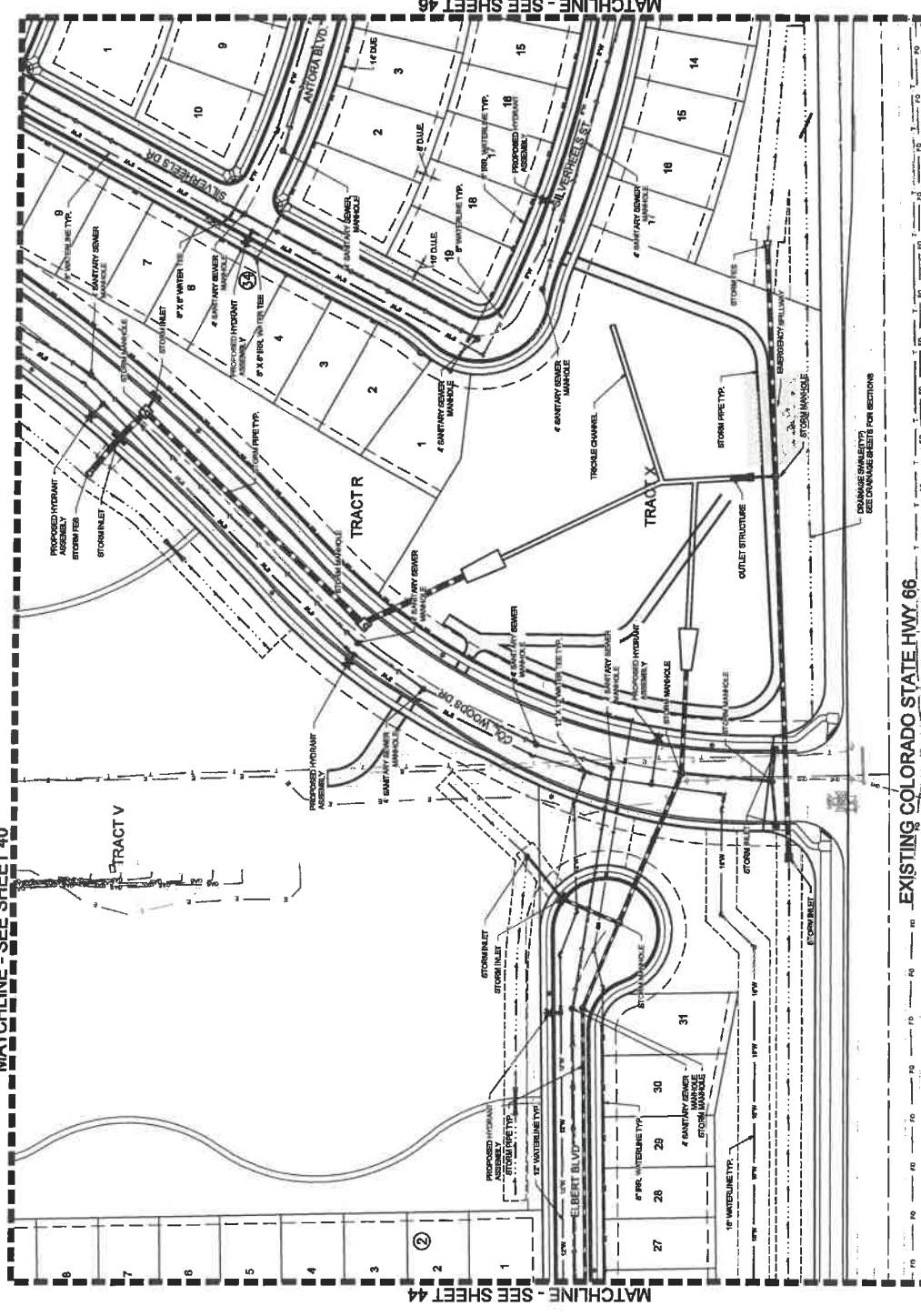
DATE	APR 2022
CHANGED BY:	
TITLE	MEADOW RIDGE SUBDIVISION PRELIMINARY UTILITY PLAN
SCALE	AS SHOWN
FILE NO.	28350
DATE	APR 2022

DATE	APR 2022
CHANGED BY:	
TITLE	MEADOW RIDGE SUBDIVISION PRELIMINARY UTILITY PLAN
SCALE	AS SHOWN
FILE NO.	28350
DATE	APR 2022

CMR HOLDING COMPANY, LLC
 1288 S CLAYTON ST
 DENVER, CO 80210

Westwood
 WESTWOOD ENGINEERING, INC.
 1233 E CHERRY ST
 DENVER, CO 80210
 TEL: 720-462-8226

DATE	NOV 15 2021
REVISION NO.	01
BY	WWS
APP'D	
DATE	



MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

TOWNSHIP 3 NORTH, RANGE 66 WEST OF THE 6TH, T10N R66W
 COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

MATCHLINE - SEE SHEET 40

MATCHLINE - SEE SHEET 44

MATCHLINE - SEE SHEET 46

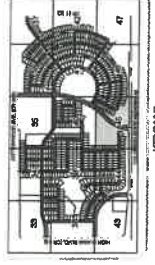
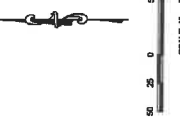
EXISTING COLORADO STATE HWY 66

OWNER: BAREFOOT, LLC

CHANGE SHEETS? SEE CHANGE SHEETS FOR SECTIONS

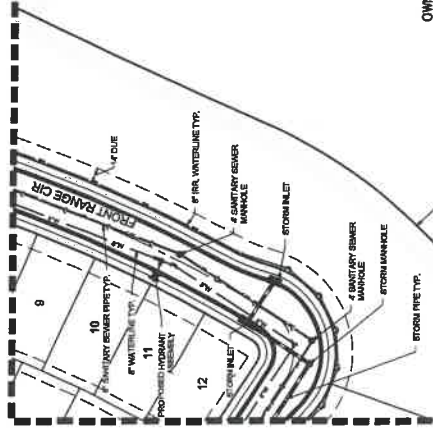
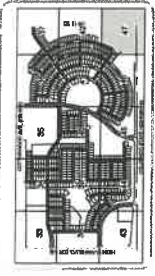
UTILITY LEGEND

PROPOSED WATERLINE
 UNLESS OTHERWISE NOTED
 PROPOSED FIRE HYDRANT
 PROPOSED HYDRANT ASSEMBLY
 PROPOSED HYDRANT VALVE
 PROPOSED HYDRANT ASSEMBLY
 PROPOSED HYDRANT ASSEMBLY
 PROPOSED HYDRANT ASSEMBLY
 PROPOSED HYDRANT ASSEMBLY
 PROPOSED HYDRANT ASSEMBLY
 PROPOSED HYDRANT ASSEMBLY



MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24
TOWNSHIP 3 NORTH, RANGE 66
EAST, 6TH 1/4, TOWN OF MEAD
COUNTY OF WELD, STATE OF COLORADO
AS FULLY DESCRIBED IN THE PRELIMINARY PLAT
MATCHLINE - SEE SHEET 42



EXISTING CR 11 1/2

EXISTING COLORADO STATE HWY 66

UTILITY LEGEND

- PROPOSED 8" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 15" WATER MAIN UNLESS OTHERWISE NOTED
- PROPOSED 8" SANITARY SEWER UNLESS OTHERWISE NOTED
- PROPOSED 4" SANITARY SEWER UNLESS OTHERWISE NOTED
- CENTERSLINE
- RIGHT-OF-WAY
- PROPERTY LINE
- PROPOSED IRRIGATION
- PROPOSED STORM
- PROPOSED STORM DOWN WITH MANHOLE
- IF FIRE INTAKANT ASSEMBLY
- PROPOSED CAP' M BLOW OFF
- PROPOSED FLARED
- PROPOSED FLARED
- PROPOSED BY CONTRACT



DATE: APR 2002	CHECKED BY: []	DRAWN BY: []	SCALE: AS SHOWN
FILE NO: 23980	PROJECT: MEADOW RIDGE SUBDIVISION PRELIMINARY PLAT	OWNER: CRR HOLDING COMPANY, LLC 1228 S CLAYTON ST DENVER, CO 80210	DESIGNER: Westwood ENGINEERS, P.C. 10333 E DIVISadero ST DENVER, CO 80231

47

CALL 811 BEFORE YOU DIG

UNICC 1-800-922-1887