

**TOWN OF MEAD, COLORADO
RESOLUTION NO. 43-R-2022**

**A RESOLUTION OF THE TOWN OF MEAD, COLORADO, CONDITIONALLY
APPROVING THE MEADOW RIDGE SUBDIVISION SKETCH PLAN/PRELIMINARY
PLAT**

WHEREAS, the Town of Mead (the “Town”) is authorized pursuant to Title 31, Article 23, C.R.S. and the *Mead Municipal Code* (the “MMC”) to regulate the development of land, streets, and utilities within the Town for the purposes of promoting the public health, safety, convenience, and the general welfare of the community; and

WHEREAS, Jennifer Carpenter, with LAI Design Group (“Applicant”), on behalf of CMR Holding Company, LLC, a Colorado limited liability company (the “Owner”), has submitted an application for the Meadow Ridge Subdivision Sketch Plan/Preliminary Plat (the “Preliminary Plat”) for the 299.55-acre property known as Meadow Ridge, located in portions of Sections 23 and 24, Township 3 North, Range 68 West of the 6th P.M., and generally located north of State Highway 66, and east of WCR 9 ½ (High Plains Blvd.), in the Town of Mead, County of Weld, State of Colorado, as more particularly described in the Preliminary Plat, a copy of which is attached to this Resolution as **EXHIBIT 1** and incorporated herein by reference (the “Property”); and

WHEREAS, the Preliminary Plat proposes to subdivide the Property into 670 Residential Single-Family (RSF-4) zoned lots and 29 tracts, including the reservation of 12.5 ± acres for an elementary school site and three (3) large General Commercial (GC) zoned tracts to be replatted at a later date, as shown with specificity in the Preliminary Plat; and

WHEREAS, the Planning Commission held a public hearing to consider the Preliminary Plat on April 20, 2022, and following the conclusion of the public hearing, proceeded to recommend conditional approval of the Preliminary Plat to the Board of Trustees; and

WHEREAS, the Planning Commission’s recommendation is memorialized in Planning Commission Resolution No. 04-PC-2022; and

WHEREAS, in accordance with Section 16-4-60 of the MMC, the Board of Trustees held a duly noticed public hearing on May 31, 2022 to consider the Preliminary Plat; and

WHEREAS, the administrative record for this case includes, but is not limited to, the Annexation Agreement, the Town of Mead Land Use Code, the Town of Mead Comprehensive Plan, the MMC, all other applicable ordinances, resolutions and regulations of the Town, the staff files and reports of the Community Development Director (the “Director”) and Town Engineer for this case, any and all submittals by the Applicant or Owner, and the digital recordings and minutes of both the Planning Commission and Board of Trustee meetings at which this application was considered; and

WHEREAS, the Board of Trustees has reviewed the proposed Preliminary Plat and has determined that the Preliminary Plat meets all applicable requirements of the Town of Mead Land Use Code and MMC and that the review criteria set forth in Section 16-4-60 of the MMC have been satisfied; and

WHEREAS, the Board of Trustees has further determined that approval of the Preliminary

Plat will advance the public health, safety, convenience and general welfare of the residents of the Town, subject to the conditions of approval as hereinafter set forth.

THEREFORE, BE IT RESOLVED by the Board of Trustees of the Town of Mead, Colorado, as follows:

Section 1. The Meadow Ridge Subdivision Sketch Plan/Preliminary Plat in the form attached to this Resolution as **EXHIBIT 1** is approved subject to the following conditions of approval:

- a) The Applicant/Owner shall resolve and correct any technical issues as directed by Town staff prior to signature of Town officials on the Preliminary Plat; and
- b) The Applicant/Owner shall pay all fees and costs incurred by the Town and its consultants in reviewing and processing the Preliminary Plat application.

Section 2. Subject to review and approval of the Preliminary Plat mylar by the Director and the Town Attorney, the Mayor and other Town officials, as applicable, are hereby authorized to sign the Preliminary Plat mylar pursuant to the terms contained herein.

Section 3. Approval of the Preliminary Plat shall be deemed effective upon signing of the Preliminary Plat mylar by the Applicant and Town officials in conformance herewith. The Preliminary Plat shall not be recorded in the Weld County real property records. In accordance with Section 16-4-60 of the MMC, the Preliminary Plat shall be valid for one (1) year and shall automatically expire thereafter. If a final plat is not submitted within one (1) year or within such extended time as may be granted by the Board of Trustees, a new preliminary plat must be submitted and processed in accordance with applicable provisions of the Land Use Code.

Section 4. Effective Date. This Resolution shall become effective immediately upon adoption.

Section 5. Repealer. All resolutions, or parts thereof, in conflict with this Resolution are hereby repealed, provided that such repealer shall not repeal the repealer clauses of such resolution nor revive any resolution thereby.

Section 6. Certification. The Town Clerk shall certify to the passage of this Resolution and make not less than one copy of the adopted resolution available for inspection by the public during regular business hours.

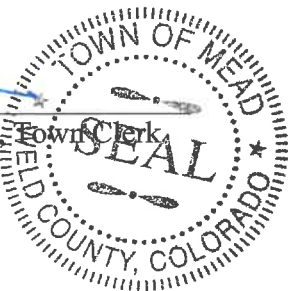
INTRODUCED, READ, PASSED AND ADOPTED THIS 31st DAY OF MAY, 2022.

ATTEST:

TOWN OF MEAD

By:

Mary E. Strutt, MMC



By:

Colleen G. Whitlow, Mayor

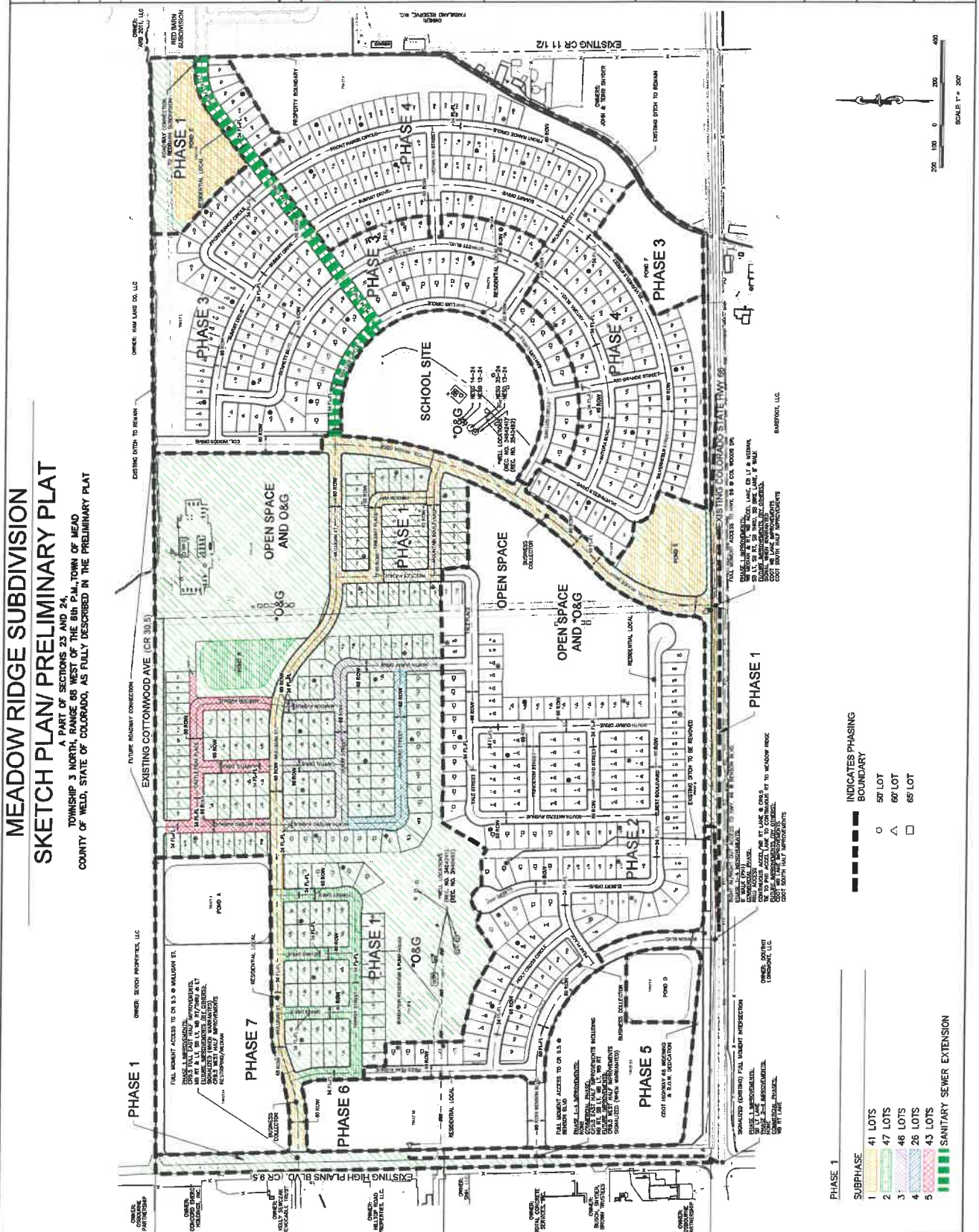
EXHIBIT 1

Meadow Ridge Subdivision Sketch Plan/Preliminary Plat

MEADOW RIDGE SUBDIVISION SKETCH PLAN/PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24,
TOWNSHIP 3 NORTH, RANGE 65 WEST OF THE 6TH P.M., TOWN OF MEAD
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

DATE: APR 2022	FILE NO: 29360	DRAWN BY: TMS	SCALE: AS SHOWN
CHECKED BY: TMS	PHYSICS PLAN - PHASE 1	MEADOW RIDGE SUBDIVISION PRELIMINARY PLAT	CMR HOLDING COMPANY, LLC 1288 S CLAYTON ST DENVER, CO 80210
NO. REVISIONS	DATE	BY	APP. DATE



OWNER: 2020 PROPERTIES, LLC

OWNER: 2021, LLC

OWNER: 2022, LLC

OWNER: 2023, LLC

OWNER: 2024, LLC

OWNER: 2025, LLC

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OWNER: 2098, LLC

OWNER: 2099, LLC

OWNER: 2100, LLC

INDICATES PHASING BOUNDARY

41 LOTS

47 LOTS

46 LOTS

26 LOTS

43 LOTS

SANITARY SEWER EXTENSION

50' LOT

60' LOT

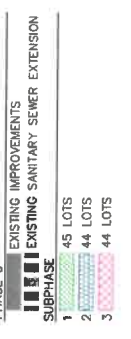
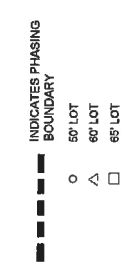
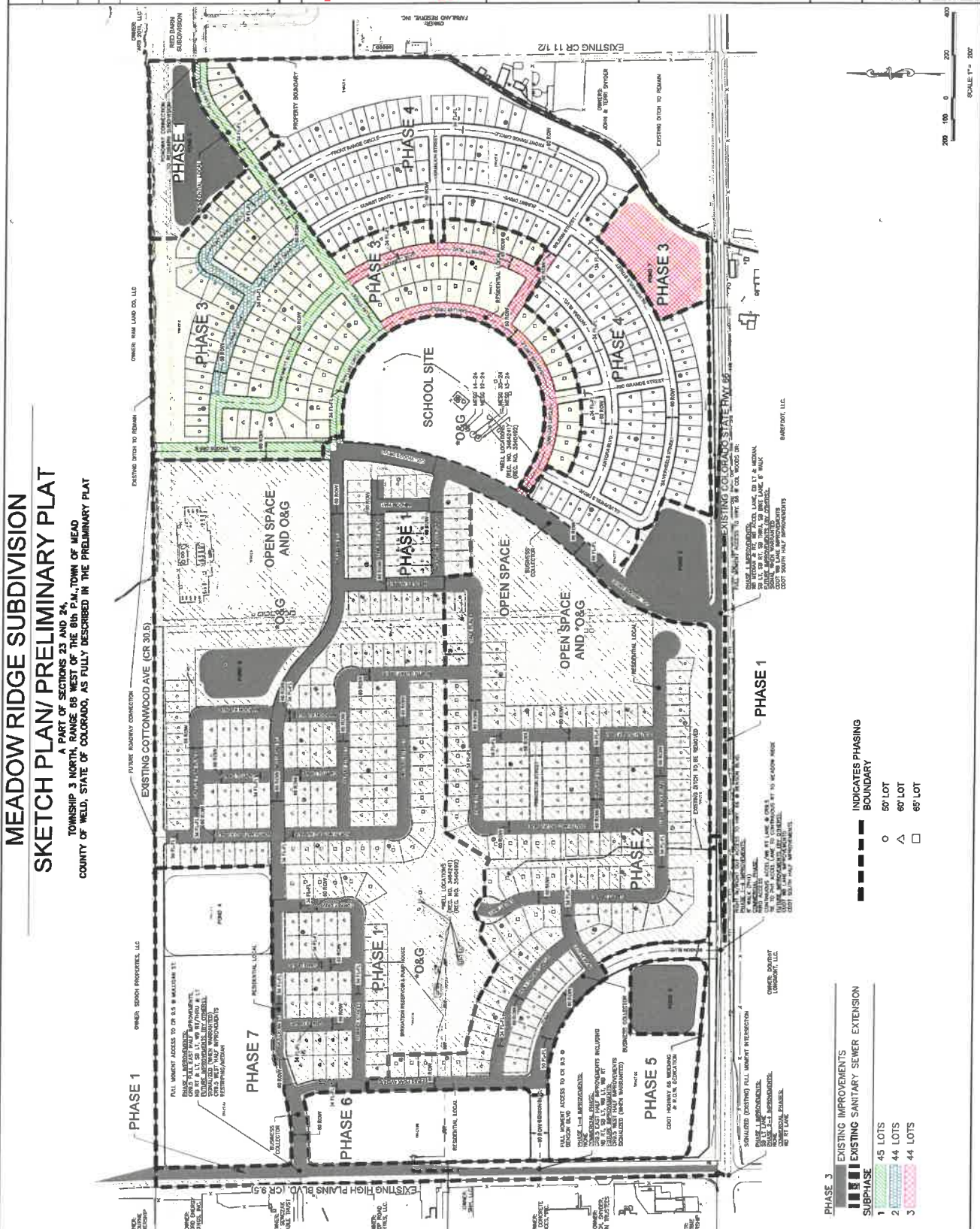
65' LOT

CALL 811
BEFORE YOU DIG
TWO WEEKS AHEAD
UNCC
1-800-922-1987

DATE	BY	APP	CHK	DATE

MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24,
 TOWNSHIP 3 NORTH, RANGE 66 WEST OF THE 6TH P.M., TOWN OF MEAD
 COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT



CALL 811
 BEFORE YOU DIG
 UNCCC
 1-800-922-1987

PHASE 1 OWNER: SMOO PROPERTIES, LLC
 FUTURE SANITARY CONNECTION
 EXISTING COTTONWOOD AVE (CR 30.5)
 FULL WORKY ACCESS TO OR S 5 & MILLER ST
 PHASE 1 IMPROVEMENTS
 OR S 5 & MILLER ST, 11' x 6' 8" / 11' x 8" / 11' x 10" / 11' x 12" / 11' x 14" / 11' x 16" / 11' x 18" / 11' x 20" / 11' x 22" / 11' x 24" / 11' x 26" / 11' x 28" / 11' x 30" / 11' x 32" / 11' x 34" / 11' x 36" / 11' x 38" / 11' x 40" / 11' x 42" / 11' x 44" / 11' x 46" / 11' x 48" / 11' x 50" / 11' x 52" / 11' x 54" / 11' x 56" / 11' x 58" / 11' x 60" / 11' x 62" / 11' x 64" / 11' x 66" / 11' x 68" / 11' x 70" / 11' x 72" / 11' x 74" / 11' x 76" / 11' x 78" / 11' x 80" / 11' x 82" / 11' x 84" / 11' x 86" / 11' x 88" / 11' x 90" / 11' x 92" / 11' x 94" / 11' x 96" / 11' x 98" / 11' x 100"

PHASE 2 OWNER: SMOO PROPERTIES, LLC
 FULL WORKY ACCESS TO OR S 5 & MILLER ST
 PHASE 2 IMPROVEMENTS
 OR S 5 & MILLER ST, 11' x 6" / 11' x 8" / 11' x 10" / 11' x 12" / 11' x 14" / 11' x 16" / 11' x 18" / 11' x 20" / 11' x 22" / 11' x 24" / 11' x 26" / 11' x 28" / 11' x 30" / 11' x 32" / 11' x 34" / 11' x 36" / 11' x 38" / 11' x 40" / 11' x 42" / 11' x 44" / 11' x 46" / 11' x 48" / 11' x 50" / 11' x 52" / 11' x 54" / 11' x 56" / 11' x 58" / 11' x 60" / 11' x 62" / 11' x 64" / 11' x 66" / 11' x 68" / 11' x 70" / 11' x 72" / 11' x 74" / 11' x 76" / 11' x 78" / 11' x 80" / 11' x 82" / 11' x 84" / 11' x 86" / 11' x 88" / 11' x 90" / 11' x 92" / 11' x 94" / 11' x 96" / 11' x 98" / 11' x 100"

PHASE 3 OWNER: SMOO PROPERTIES, LLC
 FULL WORKY ACCESS TO OR S 5 & MILLER ST
 PHASE 3 IMPROVEMENTS
 OR S 5 & MILLER ST, 11' x 6" / 11' x 8" / 11' x 10" / 11' x 12" / 11' x 14" / 11' x 16" / 11' x 18" / 11' x 20" / 11' x 22" / 11' x 24" / 11' x 26" / 11' x 28" / 11' x 30" / 11' x 32" / 11' x 34" / 11' x 36" / 11' x 38" / 11' x 40" / 11' x 42" / 11' x 44" / 11' x 46" / 11' x 48" / 11' x 50" / 11' x 52" / 11' x 54" / 11' x 56" / 11' x 58" / 11' x 60" / 11' x 62" / 11' x 64" / 11' x 66" / 11' x 68" / 11' x 70" / 11' x 72" / 11' x 74" / 11' x 76" / 11' x 78" / 11' x 80" / 11' x 82" / 11' x 84" / 11' x 86" / 11' x 88" / 11' x 90" / 11' x 92" / 11' x 94" / 11' x 96" / 11' x 98" / 11' x 100"

PHASE 4 OWNER: SMOO PROPERTIES, LLC
 FULL WORKY ACCESS TO OR S 5 & MILLER ST
 PHASE 4 IMPROVEMENTS
 OR S 5 & MILLER ST, 11' x 6" / 11' x 8" / 11' x 10" / 11' x 12" / 11' x 14" / 11' x 16" / 11' x 18" / 11' x 20" / 11' x 22" / 11' x 24" / 11' x 26" / 11' x 28" / 11' x 30" / 11' x 32" / 11' x 34" / 11' x 36" / 11' x 38" / 11' x 40" / 11' x 42" / 11' x 44" / 11' x 46" / 11' x 48" / 11' x 50" / 11' x 52" / 11' x 54" / 11' x 56" / 11' x 58" / 11' x 60" / 11' x 62" / 11' x 64" / 11' x 66" / 11' x 68" / 11' x 70" / 11' x 72" / 11' x 74" / 11' x 76" / 11' x 78" / 11' x 80" / 11' x 82" / 11' x 84" / 11' x 86" / 11' x 88" / 11' x 90" / 11' x 92" / 11' x 94" / 11' x 96" / 11' x 98" / 11' x 100"

PHASE 5 OWNER: SMOO PROPERTIES, LLC
 FULL WORKY ACCESS TO OR S 5 & MILLER ST
 PHASE 5 IMPROVEMENTS
 OR S 5 & MILLER ST, 11' x 6" / 11' x 8" / 11' x 10" / 11' x 12" / 11' x 14" / 11' x 16" / 11' x 18" / 11' x 20" / 11' x 22" / 11' x 24" / 11' x 26" / 11' x 28" / 11' x 30" / 11' x 32" / 11' x 34" / 11' x 36" / 11' x 38" / 11' x 40" / 11' x 42" / 11' x 44" / 11' x 46" / 11' x 48" / 11' x 50" / 11' x 52" / 11' x 54" / 11' x 56" / 11' x 58" / 11' x 60" / 11' x 62" / 11' x 64" / 11' x 66" / 11' x 68" / 11' x 70" / 11' x 72" / 11' x 74" / 11' x 76" / 11' x 78" / 11' x 80" / 11' x 82" / 11' x 84" / 11' x 86" / 11' x 88" / 11' x 90" / 11' x 92" / 11' x 94" / 11' x 96" / 11' x 98" / 11' x 100"

PHASE 6 OWNER: SMOO PROPERTIES, LLC
 FULL WORKY ACCESS TO OR S 5 & MILLER ST
 PHASE 6 IMPROVEMENTS
 OR S 5 & MILLER ST, 11' x 6" / 11' x 8" / 11' x 10" / 11' x 12" / 11' x 14" / 11' x 16" / 11' x 18" / 11' x 20" / 11' x 22" / 11' x 24" / 11' x 26" / 11' x 28" / 11' x 30" / 11' x 32" / 11' x 34" / 11' x 36" / 11' x 38" / 11' x 40" / 11' x 42" / 11' x 44" / 11' x 46" / 11' x 48" / 11' x 50" / 11' x 52" / 11' x 54" / 11' x 56" / 11' x 58" / 11' x 60" / 11' x 62" / 11' x 64" / 11' x 66" / 11' x 68" / 11' x 70" / 11' x 72" / 11' x 74" / 11' x 76" / 11' x 78" / 11' x 80" / 11' x 82" / 11' x 84" / 11' x 86" / 11' x 88" / 11' x 90" / 11' x 92" / 11' x 94" / 11' x 96" / 11' x 98" / 11' x 100"

PHASE 7 OWNER: SMOO PROPERTIES, LLC
 FULL WORKY ACCESS TO OR S 5 & MILLER ST
 PHASE 7 IMPROVEMENTS
 OR S 5 & MILLER ST, 11' x 6" / 11' x 8" / 11' x 10" / 11' x 12" / 11' x 14" / 11' x 16" / 11' x 18" / 11' x 20" / 11' x 22" / 11' x 24" / 11' x 26" / 11' x 28" / 11' x 30" / 11' x 32" / 11' x 34" / 11' x 36" / 11' x 38" / 11' x 40" / 11' x 42" / 11' x 44" / 11' x 46" / 11' x 48" / 11' x 50" / 11' x 52" / 11' x 54" / 11' x 56" / 11' x 58" / 11' x 60" / 11' x 62" / 11' x 64" / 11' x 66" / 11' x 68" / 11' x 70" / 11' x 72" / 11' x 74" / 11' x 76" / 11' x 78" / 11' x 80" / 11' x 82" / 11' x 84" / 11' x 86" / 11' x 88" / 11' x 90" / 11' x 92" / 11' x 94" / 11' x 96" / 11' x 98" / 11' x 100"

SCHOOL SITE
 SCHOOL SITE
 10' x 15' x 20' x 25' x 30' x 35' x 40' x 45' x 50' x 55' x 60' x 65' x 70' x 75' x 80' x 85' x 90' x 95' x 100' x 105' x 110' x 115' x 120' x 125' x 130' x 135' x 140' x 145' x 150' x 155' x 160' x 165' x 170' x 175' x 180' x 185' x 190' x 195' x 200' x 205' x 210' x 215' x 220' x 225' x 230' x 235' x 240' x 245' x 250' x 255' x 260' x 265' x 270' x 275' x 280' x 285' x 290' x 295' x 300' x 305' x 310' x 315' x 320' x 325' x 330' x 335' x 340' x 345' x 350' x 355' x 360' x 365' x 370' x 375' x 380' x 385' x 390' x 395' x 400' x 405' x 410' x 415' x 420' x 425' x 430' x 435' x 440' x 445' x 450' x 455' x 460' x 465' x 470' x 475' x 480' x 485' x 490' x 495' x 500' x 505' x 510' x 515' x 520' x 525' x 530' x 535' x 540' x 545' x 550' x 555' x 560' x 565' x 570' x 575' x 580' x 585' x 590' x 595' x 600' x 605' x 610' x 615' x 620' x 625' x 630' x 635' x 640' x 645' x 650' x 655' x 660' x 665' x 670' x 675' x 680' x 685' x 690' x 695' x 700' x 705' x 710' x 715' x 720' x 725' x 730' x 735' x 740' x 745' x 750' x 755' x 760' x 765' x 770' x 775' x 780' x 785' x 790' x 795' x 800' x 805' x 810' x 815' x 820' x 825' x 830' x 835' x 840' x 845' x 850' x 855' x 860' x 865' x 870' x 875' x 880' x 885' x 890' x 895' x 900' x 905' x 910' x 915' x 920' x 925' x 930' x 935' x 940' x 945' x 950' x 955' x 960' x 965' x 970' x 975' x 980' x 985' x 990' x 995' x 1000'

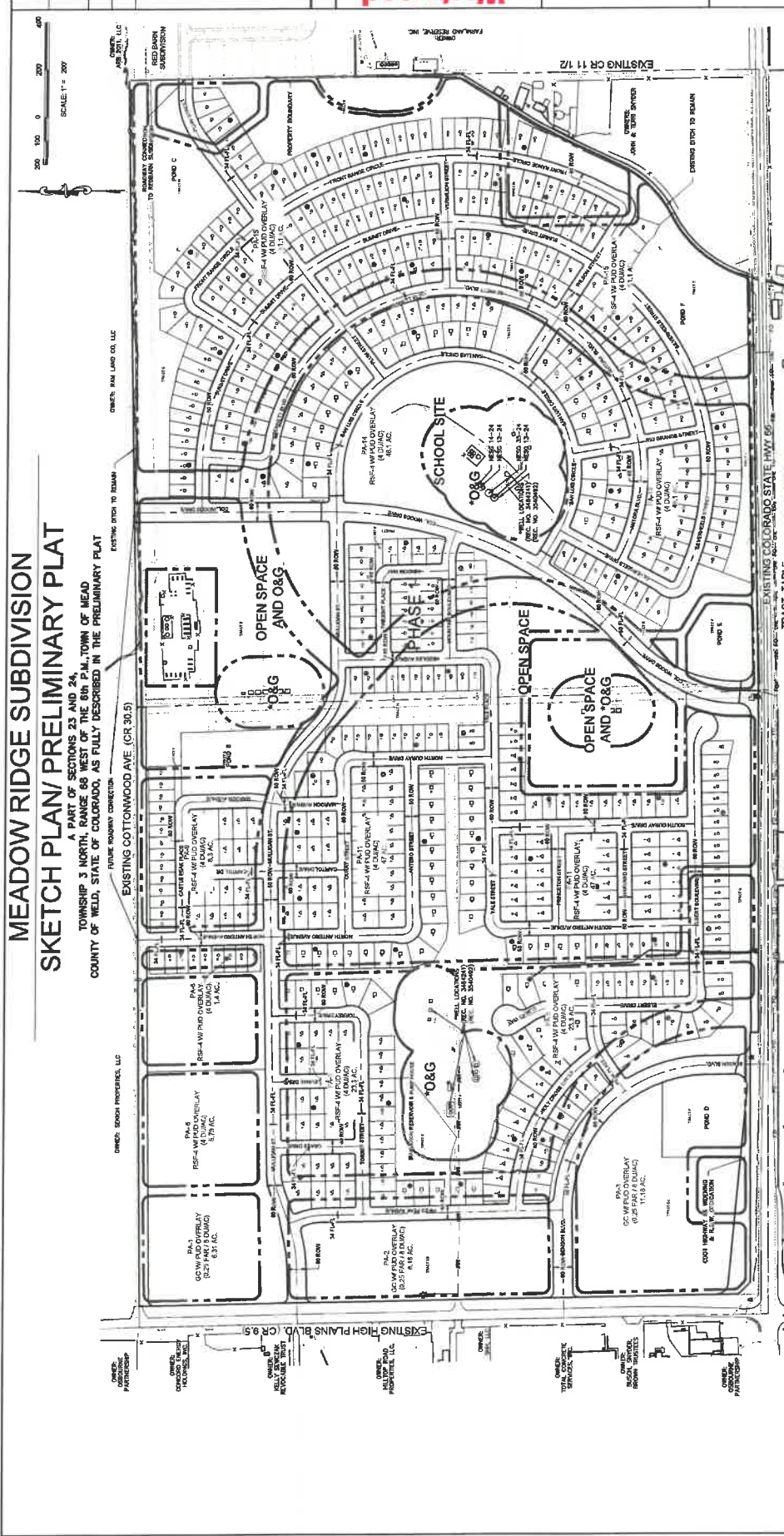
MEADOW RIDGE SUBDIVISION SKETCH PLAN/PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24,
TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M. TOWN OF MEAD
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

OWNER: BROAD PROPERTIES, LLC
DESIGNER: WESTWOOD ENGINEERING & ARCHITECTURE, L.L.C.
APPROVED FOR THE SUBDIVISION: [blank]

MEADOW RIDGE SUBDIVISION
PRELIMINARY PLAT
OVERALL PRELIMINARY PLAT PLAN
OWNER: OHM HOLDING COMPANY, LLC
1288 S CLAYTON ST
DENVER, CO 80210
WESTWOOD ENGINEERING & ARCHITECTURE, L.L.C.
13333 CHERRY CREEK RD.
DENVER, CO 80220
TEL: 720.622.9258

SHEET NUMBER: 7
DATE: APR 2022
SCALE: AS SHOWN



LAND USE TABLE

LAND USE	MAX DENSITY/FAR	MAX DENSITY/FAR	PROVIDED DENSITY	PROVIDED DENSITY	MAX DENSITY/FAR	PROVIDED DENSITY	GROSS AREA (ACRES)	% TOTAL AREA
GC W/PUD OVERLAY	0.25 FAR	274 DU	0.25 FAR	274 DU	0.25 FAR	274 DU	23.20	8%
RSF-4 W/PUD OVERLAY (4 DU/AC)	4 DU/AC	793 DU	4 DU/AC	793 DU	4 DU/AC	793 DU	131.13	48%
OPEN SPACE (PARKS/TRACKS)/OPEN SPACE (25% DETENTION CREDIT)							63.61	23%
O&G (O&G & GC OPERATION AREA)							61.26	20%
TOTAL	370,700 S.F.	1,067 DU	370,700 S.F.	1,067 DU	370,700 S.F.	1,067 DU	298.55	100%

TRACT TABLE

DESCRIPTION	AREA (AC)	USE	OVERSEER	MANTENANCE	CREBIT
TRACT A	4.81	DETENTION / OPEN SPACE	METRO DISTRICT	METRO DISTRICT	0.72
TRACT B	17.79	GC W/PUD OVERLAY	METRO DISTRICT	METRO DISTRICT	4.09
TRACT C	0.23	O&G	METRO DISTRICT	METRO DISTRICT	0.45
TRACT D	1.98	DETENTION / OPEN SPACE	METRO DISTRICT	METRO DISTRICT	1.43
TRACT E	0.06	GC W/PUD OVERLAY	METRO DISTRICT	METRO DISTRICT	0.12
TRACT F	4.97	GC W/PUD OVERLAY	METRO DISTRICT	METRO DISTRICT	1.13
TRACT G	4.97	GC W/PUD OVERLAY	METRO DISTRICT	METRO DISTRICT	1.13
TRACT H	0.55	GC W/PUD OVERLAY	METRO DISTRICT	METRO DISTRICT	0.11
TRACT I	0.55	GC W/PUD OVERLAY	METRO DISTRICT	METRO DISTRICT	0.11
TRACT J	1.66	GC W/PUD OVERLAY	METRO DISTRICT	METRO DISTRICT	0.33
TRACT K	1.66	GC W/PUD OVERLAY	METRO DISTRICT	METRO DISTRICT	0.33
TRACT L	0.06	O&G	METRO DISTRICT	METRO DISTRICT	0.12
TRACT M	0.06	O&G	METRO DISTRICT	METRO DISTRICT	0.12
TRACT N	0.06	O&G	METRO DISTRICT	METRO DISTRICT	0.12
TRACT O	0.06	O&G	METRO DISTRICT	METRO DISTRICT	0.12
TRACT P	0.06	O&G	METRO DISTRICT	METRO DISTRICT	0.12
TRACT Q	0.06	O&G	METRO DISTRICT	METRO DISTRICT	0.12
TRACT R	0.06	O&G	METRO DISTRICT	METRO DISTRICT	0.12
TRACT S	0.06	O&G	METRO DISTRICT	METRO DISTRICT	0.12
TRACT T	0.06	O&G	METRO DISTRICT	METRO DISTRICT	0.12
TRACT U	0.06	O&G	METRO DISTRICT	METRO DISTRICT	0.12
TRACT V	0.06	O&G	METRO DISTRICT	METRO DISTRICT	0.12
TRACT W	3.72	DETENTION / OPEN SPACE	METRO DISTRICT	METRO DISTRICT	2.20
TRACT X	3.69	GC W/PUD OVERLAY	METRO DISTRICT	METRO DISTRICT	2.10
TRACT Y	1.51	GC W/PUD OVERLAY	METRO DISTRICT	METRO DISTRICT	0.75
TRACT Z	11.82	GC W/PUD OVERLAY	METRO DISTRICT	METRO DISTRICT	2.77
TRACT AA	6.16	GC W/PUD OVERLAY	METRO DISTRICT	METRO DISTRICT	1.35
TRACT AB	1.04	O&G	METRO DISTRICT	METRO DISTRICT	0.15
TOTAL	104.18				44.05

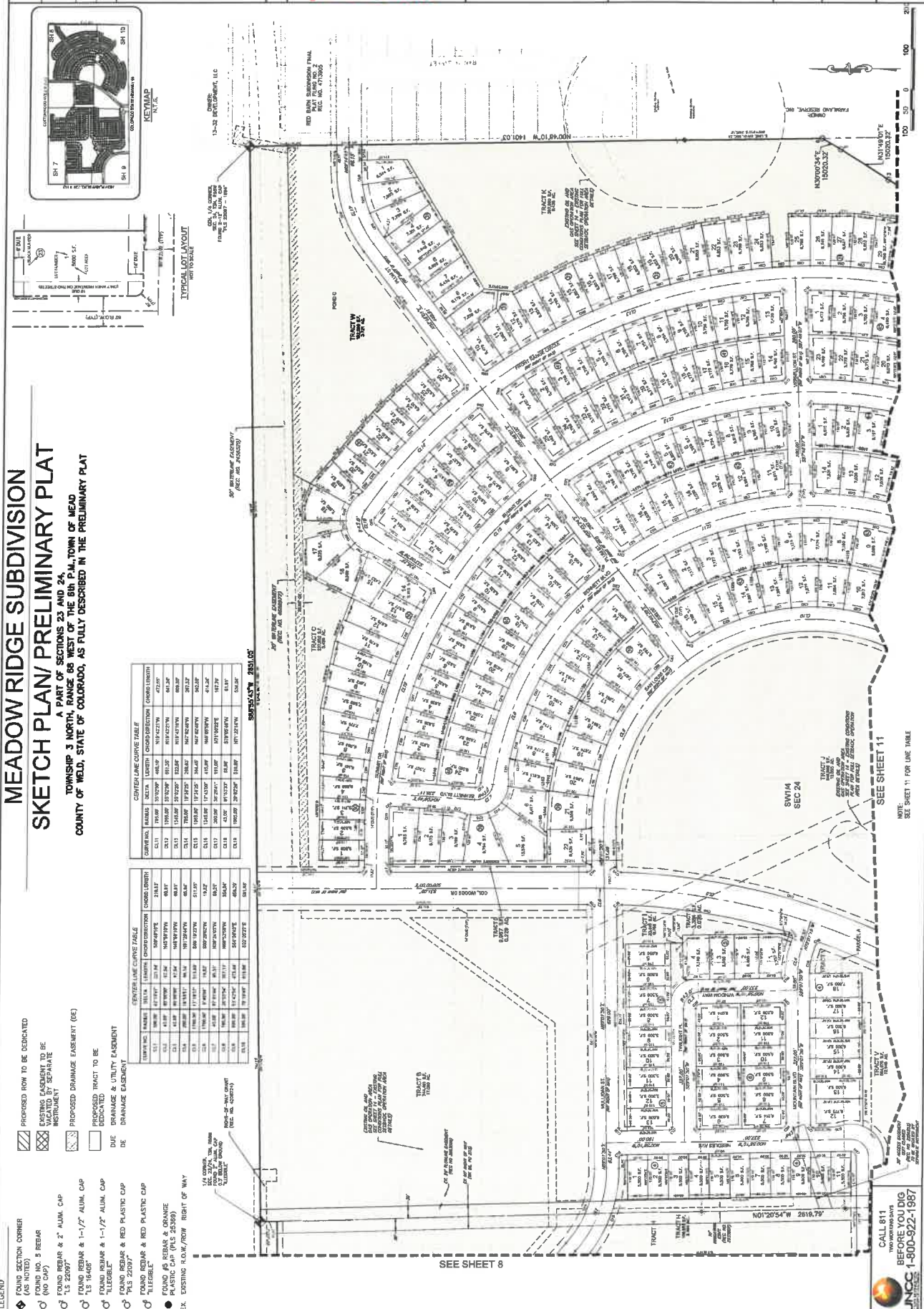
MASTER DEVELOPMENT SUMMARY (PUD)

PLANNING AREA	LAND USE/DISTRICT	EXISTING SUBDIVISION	PROVIDED PUD	PROVIDED PUD MAXIMUM DENSITY	PROVIDED PUD SUB-TOTAL	PROVIDED PUD TOTAL
PA-1	GC W/PUD OVERLAY (0.25 FAR)	574 DU	574 DU	574 DU	574 DU	574 DU
PA-2	RSF-4 W/PUD OVERLAY (4 DU/AC)	176,418 S.F. / 43,104 DU	43,104 DU	43,104 DU	43,104 DU	43,104 DU
PA-3	GC	129,581 S.F. / 32,445 S.F. / 789 DU	789 DU	789 DU	789 DU	789 DU
PA-4	GC W/PUD OVERLAY (0.25 FAR)	370,700 S.F. / 92,675 S.F. / 231,700 DU	231,700 DU	231,700 DU	231,700 DU	231,700 DU
PA-5	RSF-4	29 DU	29 DU	29 DU	29 DU	29 DU
PA-6	RSF-4	6 DU	6 DU	6 DU	6 DU	6 DU
PA-7	RSF-4	5 DU	5 DU	5 DU	5 DU	5 DU
PA-8	RSF-4	4 DU/AC	4 DU	4 DU	4 DU	4 DU
PA-9	RSF-4	4 DU/AC	4 DU	4 DU	4 DU	4 DU
PA-10	RSF-4	180 DU	180 DU	180 DU	180 DU	180 DU
PA-11	RSF-4	7 DU	7 DU	7 DU	7 DU	7 DU
PA-12	RSF-4	204 DU	204 DU	204 DU	204 DU	204 DU
PA-13	RSF-4	4 DU/AC	4 DU	4 DU	4 DU	4 DU
PA-14	RSF-4	333 DU	333 DU	333 DU	333 DU	333 DU
PA-15	RSF-4 W/PUD OVERLAY SUB-TOTAL	793 DU	793 DU	793 DU	793 DU	793 DU

LEGEND

◯ 60' LOT
 △ 60' LOT
 □ 65' LOT
 * SEE SHEET 14 FOR WELL STATUS
 --- APPROVED PUD PLANNING AREAS

CALL 811
BEFORE YOU DIG
1-800-922-1987



MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAN

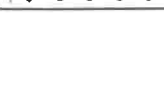
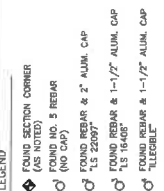
TOWNSHIP 3 NORTH, RANGE 65 WEST OF THE 6TH P.M., TOWN OF MEAD
 COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAN

- LEGEND**
- ◆ FOUND SECTION CORNER (AS NOTED)
 - FOUND NO. 5 REBAR (NO CAP)
 - FOUND REBAR & 2" ALUM. CAP (LS 22097)
 - FOUND REBAR & 1-1/2" ALUM. CAP
 - FOUND REBAR & 1-1/2" ALUM. CAP
 - FOUND REBAR & RED PLASTIC CAP
 - FOUND REBAR & RED PLASTIC CAP
 - FOUND REBAR & RED PLASTIC CAP
 - FOUND REBAR & ORANGE PLASTIC CAP (PLS 25389)
 - FOUND 1/2" DIA. PIPE (AS NOTED)
 - EA. EXISTING 1/2" DIA. PIPE (AS NOTED)

- ▨ PROPOSED ROW TO BE DEDICATED
- ▨ EXISTING EASEMENT TO BE VACATED BY SEPARATE INSTRUMENT
- ▨ PROPOSED DRAINAGE EASEMENT (DE)
- ▨ PROPOSED TRACT TO BE DRAINAGE & UTILITY EASEMENT
- ▨ DUE DRAINAGE & UTILITY EASEMENT
- ▨ DRAINAGE EASEMENT

CENTRAL LINE CURVE TABLE

CURVE NO.	BEARING	ANGLE	CHORD BEARING	CHORD DIST.	CHORD BEARING	CHORD DIST.
C11	110.000°	57.272°	110.000°	28.827'	110.000°	28.827'
C12	110.000°	57.272°	110.000°	28.827'	110.000°	28.827'
C13	110.000°	57.272°	110.000°	28.827'	110.000°	28.827'
C14	110.000°	57.272°	110.000°	28.827'	110.000°	28.827'
C15	110.000°	57.272°	110.000°	28.827'	110.000°	28.827'
C16	110.000°	57.272°	110.000°	28.827'	110.000°	28.827'
C17	110.000°	57.272°	110.000°	28.827'	110.000°	28.827'
C18	110.000°	57.272°	110.000°	28.827'	110.000°	28.827'
C19	110.000°	57.272°	110.000°	28.827'	110.000°	28.827'



CALL 811
BEFORE YOU DIG
 UNCC
 1-800-922-1987

SEE SHEET 8
 SEE SHEET 11
 NOTE: SEE SHEET 11 FOR LINE TABLE

MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

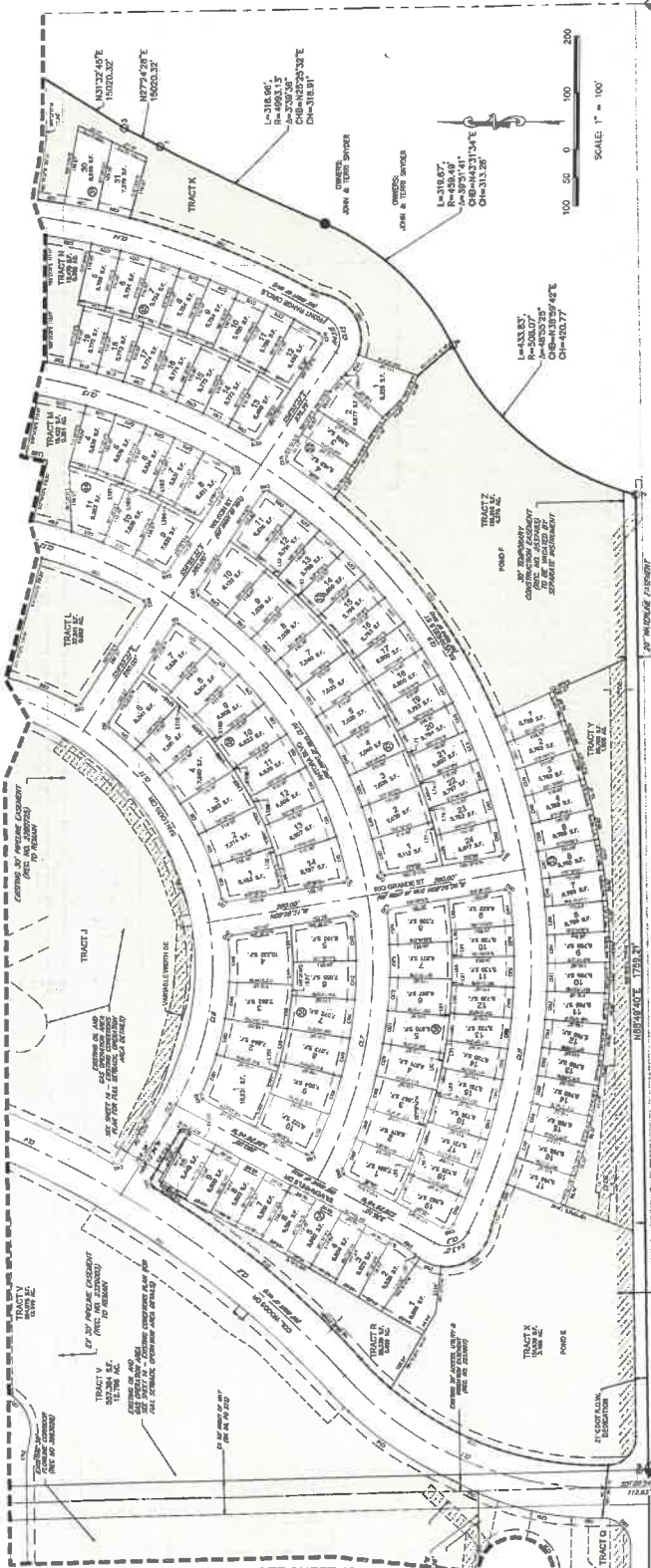
A PART OF SECTIONS 23 AND 24,
TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M., TOWN OF MEAD
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

SEE SHEET 9

SEE SHEET 10



- LEGEND**
- ◆ FOUNDATION CORNER (AS NOTED)
 - FOUND NO. 5 REBAR (NO CAP)
 - FOUND REBAR & 2" ALUM. CAP "LS 22097"
 - FOUND REBAR & 1-1/2" ALUM. CAP "LS 19406"
 - FOUND REBAR & 1-1/2" ALUM. CAP "LS 22097"
 - FOUND REBAR & RED PLASTIC CAP "LLEGBLE"
 - FOUND REBAR & RED PLASTIC CAP "LLEGBLE"
 - FOUND REBAR & ORANGE PLASTIC CAP (PLS 25389)
 - EX. EXISTING
 - PROPOSED TRACT TO BE DEDICATED
 - EXISTING EASEMENT TO BE VACATED BY SEPARATE INSTRUMENT
 - PROPOSED DRAINAGE EASEMENT (DE)
 - DE DRAINAGE & UTILITY EASEMENT
 - DE DRAINAGE EASEMENT
- R.O.W. FROM RIGHT OF WAY



PRELIMINARY PLAT
PRELIMINARY PLAT
MEADOW RIDGE SUBDIVISION

CMR HOLDING COMPANY, LLC
1288 S CLAYTON ST
DENVER, CO 80202

DATE: April 2022
CHECKED BY: AS SHOWN
SCALE: 29350

11
SHEET NUMBER

TYPICAL LOT LAYOUT

LINE TABLE	LINE TABLE
1.01 FOUNDATION CORNER	1.01 FOUNDATION CORNER
1.02 FOUND NO. 5 REBAR	1.02 FOUND NO. 5 REBAR
1.03 FOUND REBAR & 2" ALUM. CAP	1.03 FOUND REBAR & 2" ALUM. CAP
1.04 FOUND REBAR & 1-1/2" ALUM. CAP	1.04 FOUND REBAR & 1-1/2" ALUM. CAP
1.05 FOUND REBAR & RED PLASTIC CAP	1.05 FOUND REBAR & RED PLASTIC CAP
1.06 FOUND REBAR & RED PLASTIC CAP	1.06 FOUND REBAR & RED PLASTIC CAP
1.07 FOUND REBAR & ORANGE PLASTIC CAP	1.07 FOUND REBAR & ORANGE PLASTIC CAP
1.08 EX. EXISTING	1.08 EX. EXISTING
1.09 PROPOSED TRACT TO BE DEDICATED	1.09 PROPOSED TRACT TO BE DEDICATED
1.10 EXISTING EASEMENT TO BE VACATED BY SEPARATE INSTRUMENT	1.10 EXISTING EASEMENT TO BE VACATED BY SEPARATE INSTRUMENT
1.11 PROPOSED DRAINAGE EASEMENT (DE)	1.11 PROPOSED DRAINAGE EASEMENT (DE)
1.12 DRAINAGE & UTILITY EASEMENT	1.12 DRAINAGE & UTILITY EASEMENT
1.13 DRAINAGE EASEMENT	1.13 DRAINAGE EASEMENT

LINE TABLE	LINE TABLE
1.01 FOUNDATION CORNER	1.01 FOUNDATION CORNER
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1.13 DRAINAGE EASEMENT	1.13 DRAINAGE EASEMENT

CENTERLINE CURVE TABLE

CURVE NO.	RADIUS	DELTA	LENGTH	CURVE DESCRIPTION	CHORD LENGTH
C1	1100.00	49.7297°	234.87	800' RADIUS	698.87
C2	1100.00	17.9057°	502.56	800' RADIUS	698.87
C3	1100.00	17.9057°	502.56	800' RADIUS	698.87
C4	1100.00	49.7297°	234.87	800' RADIUS	698.87
C5	1100.00	17.9057°	502.56	800' RADIUS	698.87
C6	1100.00	17.9057°	502.56	800' RADIUS	698.87
C7	1100.00	49.7297°	234.87	800' RADIUS	698.87
C8	1100.00	17.9057°	502.56	800' RADIUS	698.87
C9	1100.00	17.9057°	502.56	800' RADIUS	698.87
C10	1100.00	49.7297°	234.87	800' RADIUS	698.87
C11	1100.00	17.9057°	502.56	800' RADIUS	698.87
C12	1100.00	17.9057°	502.56	800' RADIUS	698.87
C13	1100.00	49.7297°	234.87	800' RADIUS	698.87
C14	1100.00	17.9057°	502.56	800' RADIUS	698.87
C15	1100.00	17.9057°	502.56	800' RADIUS	698.87

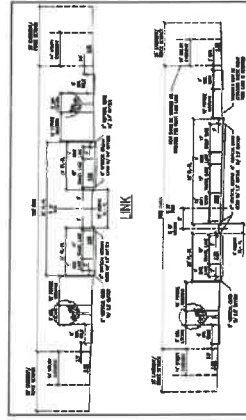
CALL 811
BEFORE YOU DIG
1-800-922-1997

MEADOW RIDGE SUBDIVISION SKETCH PLAN/PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24
TOWNSHIP 3 NORTH, RANGE 66 WEST OF THE 6TH P.M. TOWN OF MEAD
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT



HIGH PLAINS BLVD (CR 9.5) PHASE 1 IMPROVEMENT

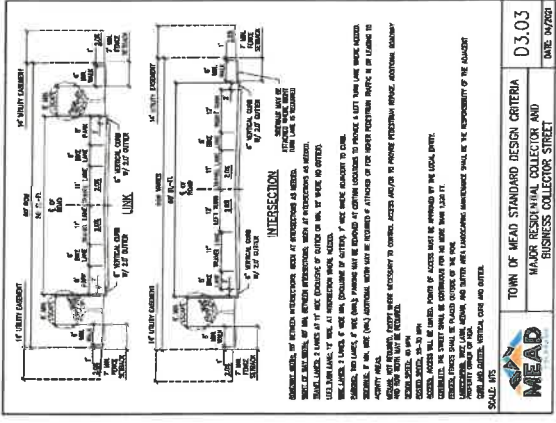


GENERAL NOTES: ALL INTERSECTIONS SHALL BE DESIGNED AS INTERSECTIONS AS SHOWN.
SECTION 1: ALL LANE WIDTHS SHALL BE AS SHOWN.
SECTION 2: ALL SHOULDER WIDTHS SHALL BE AS SHOWN.
SECTION 3: ALL UTILITY LOCATIONS SHALL BE AS SHOWN.
SECTION 4: ALL DRIVEWAY LOCATIONS SHALL BE AS SHOWN.
SECTION 5: ALL DRIVEWAY WIDTHS SHALL BE AS SHOWN.
SECTION 6: ALL DRIVEWAY SPACING SHALL BE AS SHOWN.
SECTION 7: ALL DRIVEWAY SETBACKS SHALL BE AS SHOWN.
SECTION 8: ALL DRIVEWAY SLOPES SHALL BE AS SHOWN.
SECTION 9: ALL DRIVEWAY FINISHES SHALL BE AS SHOWN.
SECTION 10: ALL DRIVEWAY CURBS SHALL BE AS SHOWN.
SECTION 11: ALL DRIVEWAY GUTTERS SHALL BE AS SHOWN.
SECTION 12: ALL DRIVEWAY SIDEWALKS SHALL BE AS SHOWN.
SECTION 13: ALL DRIVEWAY BIKEWAYS SHALL BE AS SHOWN.
SECTION 14: ALL DRIVEWAY LIGHT FIXTURES SHALL BE AS SHOWN.
SECTION 15: ALL DRIVEWAY SIGNAGE SHALL BE AS SHOWN.
SECTION 16: ALL DRIVEWAY PAINT SHALL BE AS SHOWN.
SECTION 17: ALL DRIVEWAY MATERIALS SHALL BE AS SHOWN.
SECTION 18: ALL DRIVEWAY CONSTRUCTION SHALL BE AS SHOWN.
SECTION 19: ALL DRIVEWAY MAINTENANCE SHALL BE AS SHOWN.
SECTION 20: ALL DRIVEWAY INSPECTION SHALL BE AS SHOWN.

TOWN OF MEAD STANDARD DESIGN CRITERIA
2-LANE MAJOR ARTERIAL STREET
D3.01B
DATE: 04/20/20

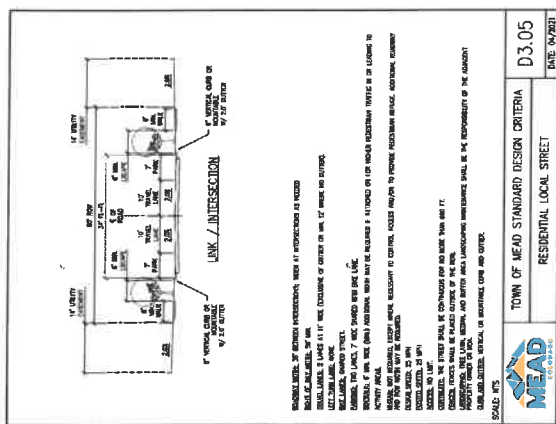


30' ALLEY



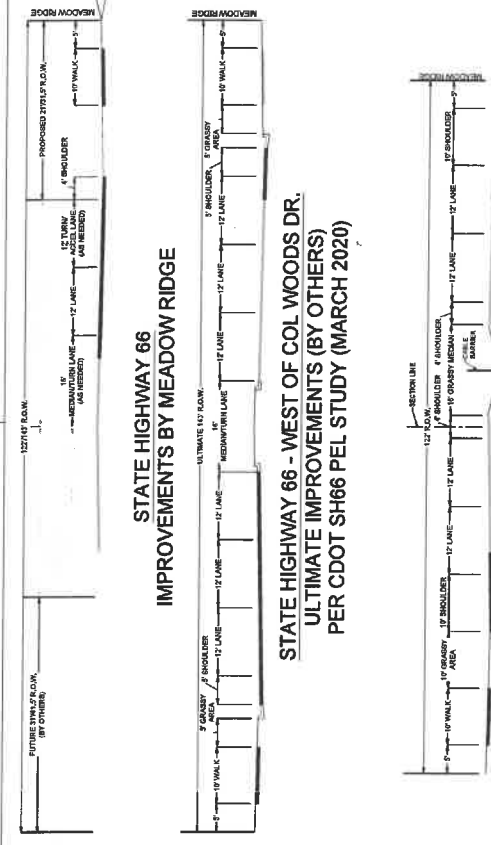
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SECTION 19: ALL DRIVEWAY MAINTENANCE SHALL BE AS SHOWN.
SECTION 20: ALL DRIVEWAY INSPECTION SHALL BE AS SHOWN.

TOWN OF MEAD STANDARD DESIGN CRITERIA
MAJOR RESIDENTIAL COLLECTOR AND BUSINESS COLLECTOR STREET
D3.03
DATE: 04/20/20



GENERAL NOTES: ALL INTERSECTIONS SHALL BE DESIGNED AS INTERSECTIONS AS SHOWN.
SECTION 1: ALL LANE WIDTHS SHALL BE AS SHOWN.
SECTION 2: ALL SHOULDER WIDTHS SHALL BE AS SHOWN.
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SECTION 20: ALL DRIVEWAY INSPECTION SHALL BE AS SHOWN.

TOWN OF MEAD STANDARD DESIGN CRITERIA
RESIDENTIAL LOCAL STREET
D3.05
DATE: 04/20/20



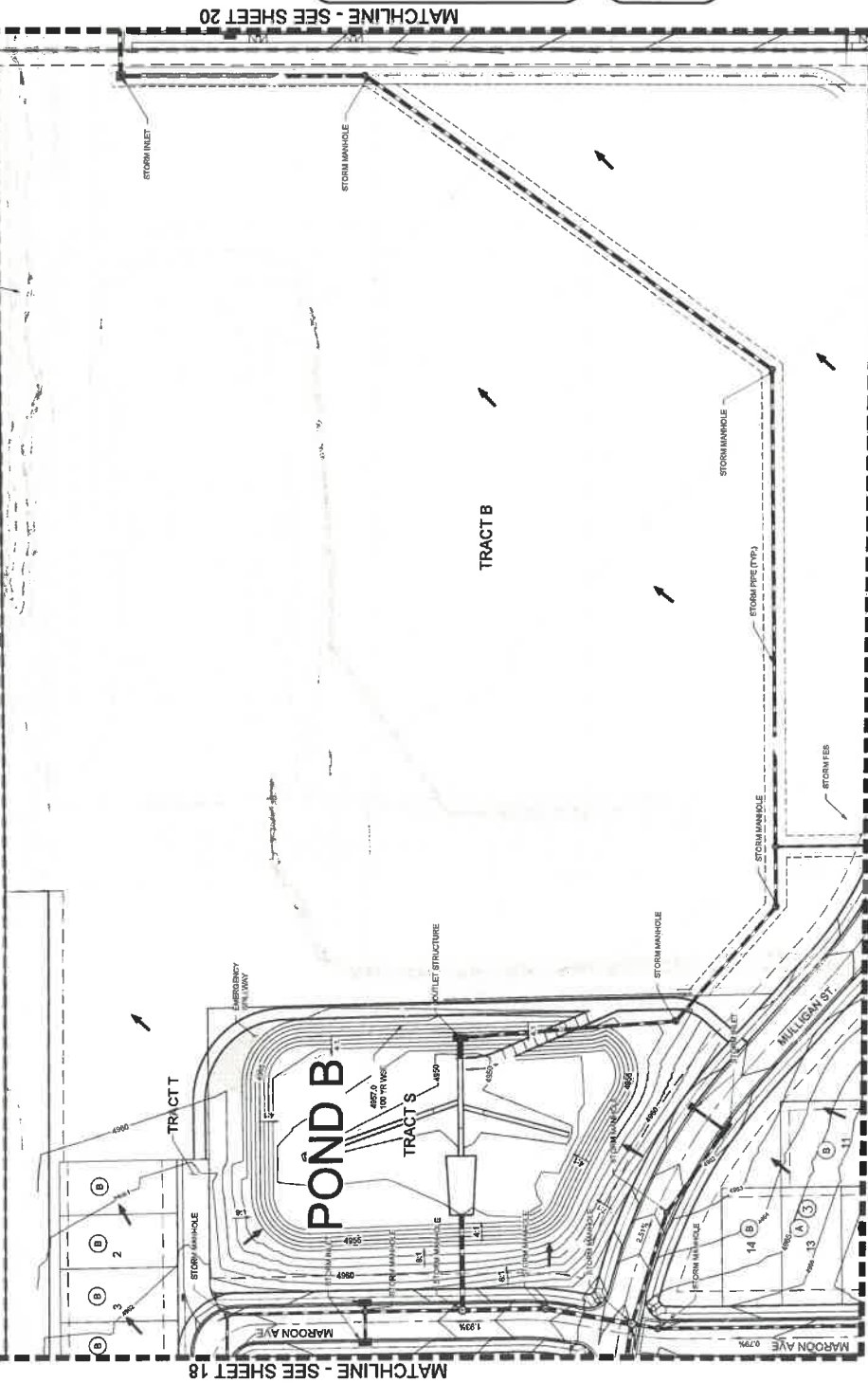
CALL 811
BEFORE YOU DIG
UNCCO 1-800-922-1987

MEADOW RIDGE SUBDIVISION SKETCH PLAN/PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24,
TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M., TOWN OF MEAD
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

OWNER: SEKICH PROPERTIES, LLC

OWNER: RAM LAND CO, LLC



MATCHLINE - SEE SHEET 18

MATCHLINE - SEE SHEET 24

MATCHLINE - SEE SHEET 20

LEGEND

②	BLOCK NUMBER	PROPOSED OVERLAND FLOW
④	LOT NUMBER	CENTERLINE
⑥	EXISTING PLAZED BMD SECTION	RIGHT-OF-WAY
—	EXISTING STORM DRAIN	PROPERTY LINE
—	EXISTING STORM DRAIN MANHOLE	EDGE OF PAVEMENT
—	PROPOSED LIGHT PILE	EXISTING 5' CONTOUR
—	PROPOSED SEWERALK RAMP	EXISTING 1' CONTOUR
—	PROPOSED SEWERALK	PROPOSED 5' CONTOUR
—	EXISTING ELEVATION	PROPOSED 1' CONTOUR
—	EXISTING DESIGN ELEVATION	EXISTING STORM DRAIN SECTION LINE
—	PROPOSED FINISHED GRADE	FIELD BOUNDARY
—	SOIL GRADE	PROPOSED SLOPE & DIRECTION

ABBREVIATIONS

BL	AVAIL. REFERENCE
EL	ELEVATION
FG	FINISHED GRADE
FL	FIELD LINE
FD	FIELD DRAIN
FP	FIELD POINT
HP	HIGH POINT
LN	LINEAR FEET
LP	LOWPOINT
T.O.P.	TOP OF PIPE
W.S.	WATER SURFACE ELEVATION
W.S.E.	WATER SURFACE ELEVATION
N.T.S.	NOT TO SCALE

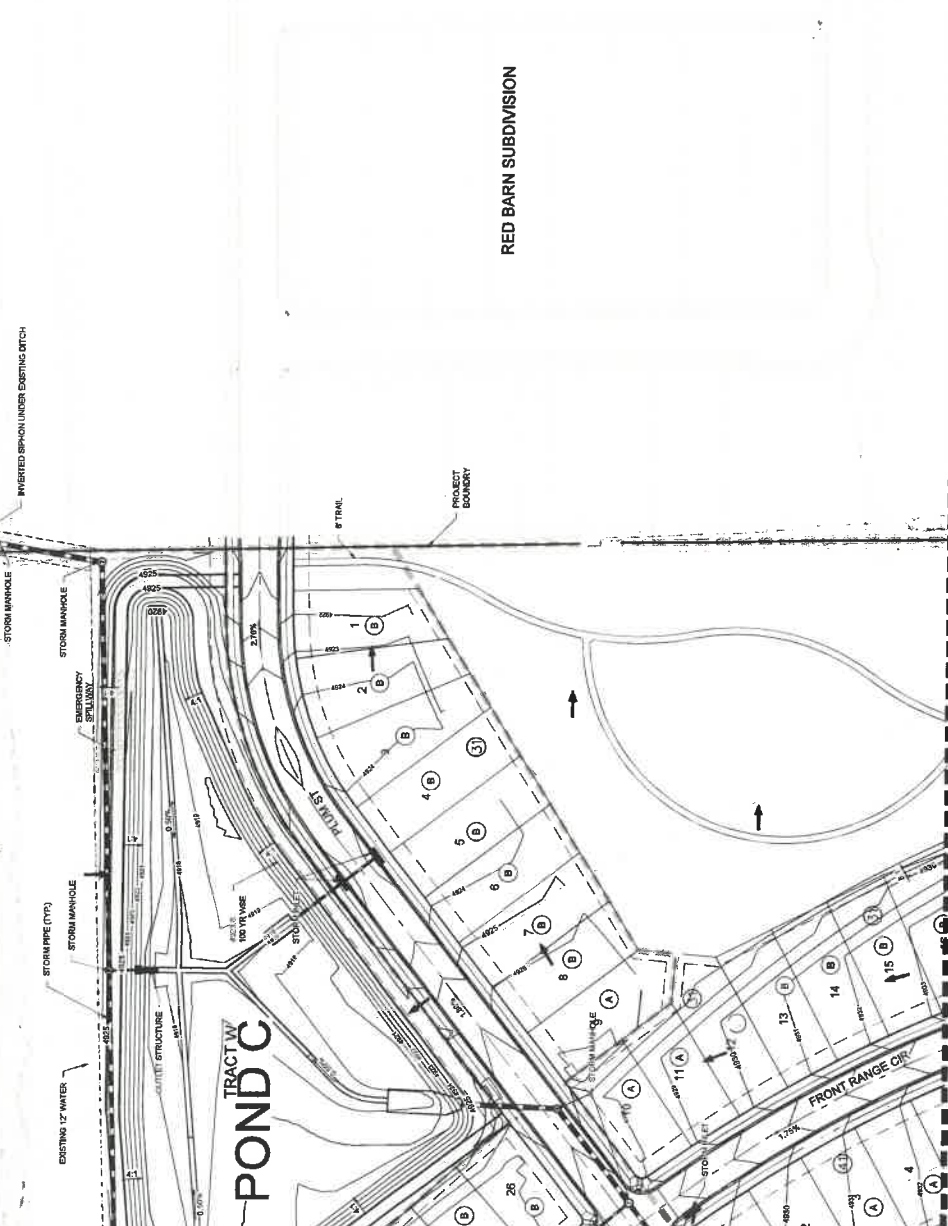
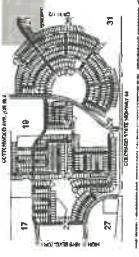
CALL 811
BEFORE YOU DIG
UNCCG
1-800-922-1987

**MEADOW RIDGE SUBDIVISION
 SKETCH PLAN/PRELIMINARY PLAT**

A PART OF SECTIONS 23 AND 24
 TOWNSHIP 3 NORTH, RANGE 66 WEST OF THE 6TH P.M. TOWN OF MEAD
 COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

OWNER: RAM LAND CO, LLC

OWNER:
 ARB 2011, LLC



MATCHLINE - SEE SHEET 20

MATCHLINE - SEE SHEET 26

LEGEND	
②	BLOCK NUMBER
(A)	LOT TYPE
6	EXISTING FLARED END SECTION
—	EXISTING STORM DRAIN INLET
—	EXISTING STORM DRAIN MANHOLE
☀	PROPOSED LIGHT
—	PROPOSED SIDEWALK RAMP
—	EXISTING ELEVATION
10.00	PROPOSED DESIGN ELEVATION
—	PROPOSED FINISHED GRADE
—	PROPOSED OVERLAND FLOW
—	CENTERLINE
—	RIGHT-OF-WAY
—	PROPERTY LINE
—	EDGE OF PAVEMENT
—	EXISTING 1' CONTOUR
—	EXISTING 2' CONTOUR
---5825	PROPOSED 1' CONTOUR
---5907	PROPOSED 2' CONTOUR
—	EXISTING STORM DRAIN SECTION LINE
—	EXISTING STORM DRAIN FINISH BOUNDARY
—	PROPOSED SLOPE & DIRECTION

ABBREVIATIONS	
BL	BOUNDARY LINE
EL	ELEVATION
FL	FINISH LINE
FP	FIELD POINT
HP	HIGH POINT
LP	LOW POINT
M	MANHOLE
MP	MANHOLE POINT
N.T.S.	NOT TO SCALE
PVC	POLYVINYL CHLORIDE
RC	REINFORCED CONCRETE
SD	STORM DRAIN
STA	STATION LINE
TOP	TOP OF PIPE
USE	USE WATER SURFACE ELEVATION

WESTWORK ENGINEERS ARCHITECTS AND DRAINAGE ENGINEERS PREPARED BY WESTWORK ENGINEERS ARCHITECTS AND DRAINAGE ENGINEERS 1228 S CLAYTON ST DENVER CO 80210

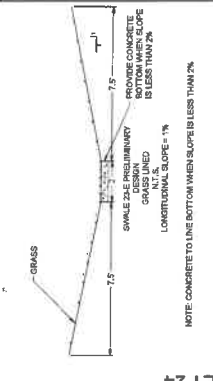
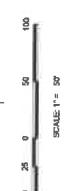
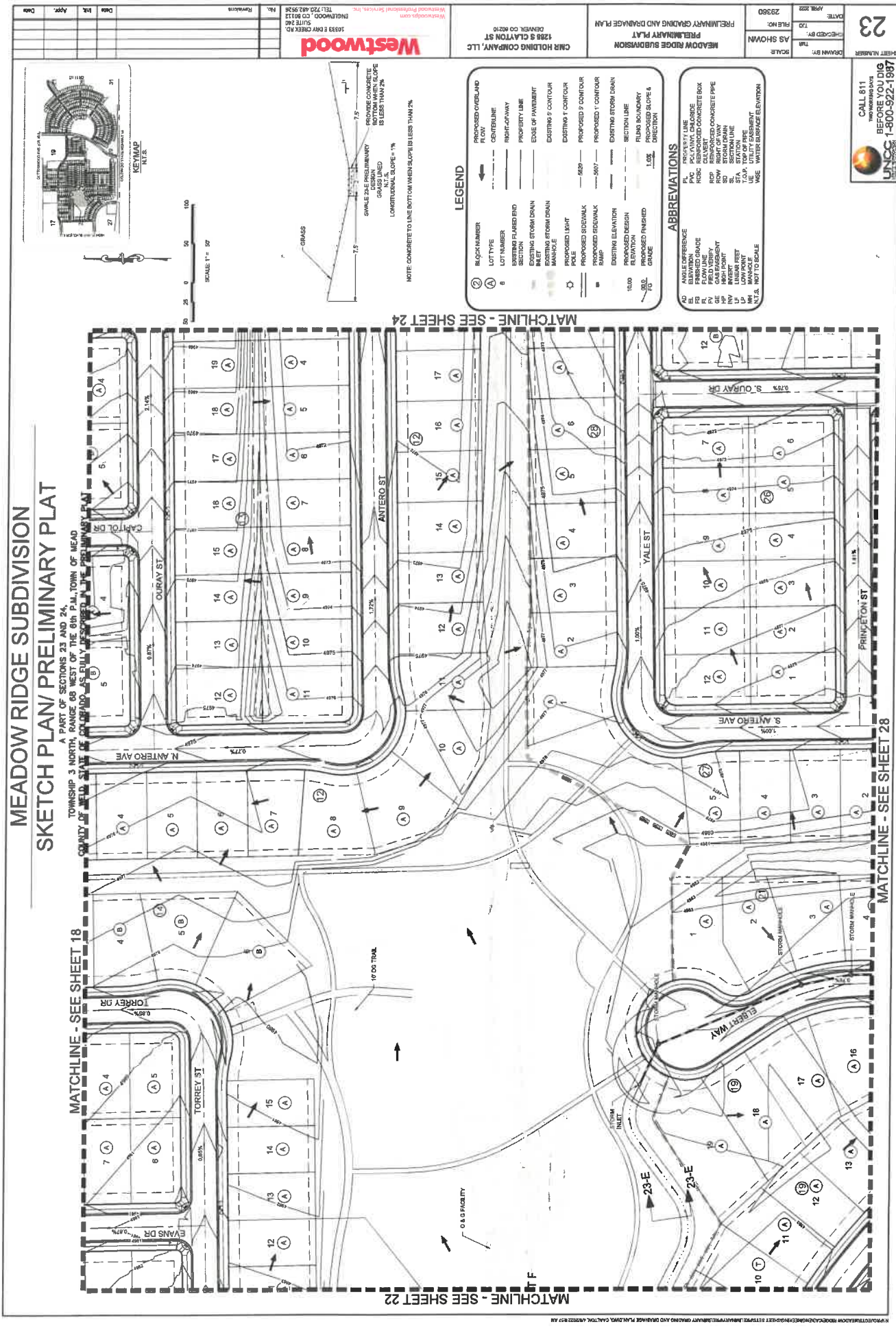
DATE: APRIL 2022	SCALE: AS SHOWN
PLATE NO: 101	DRAWN BY: MJS
PROJECT: MEADOW RIDGE SUBDIVISION	CHECKED BY: [Signature]
PRELIMINARY GRADING AND DRAINAGE PLAN	APPR: [Signature]
CRR HOLDING COMPANY, LLC 1228 S CLAYTON ST DENVER, CO 80210	
Westwood Professional Services, Inc. 1228 S DIRV CREEK RD. ENGLEWOOD, CO 80112 TEL: 720.442.0525 WESTWOOD.COM	
No.:	Revision:
SITE 26	
DATE: APRIL 2022	DATE: APRIL 2022
DATE: APRIL 2022	DATE: APRIL 2022

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 UNCO 1-800-922-1987

MEADOW RIDGE SUBDIVISION SKETCH PLAN/PRELIMINARY PLAT

TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 8TH P.M. TOWN OF MEAD
A PART OF SECTIONS 23 AND 24
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT



SYMBOL	DESCRIPTION
(2)	BLOCK NUMBER
(A)	LOT NUMBER
(G)	PROPOSED FINISHED PVD
(S)	EXISTING STORM DRAIN
(SD)	PROPOSED STORM DRAIN
(M)	MANHOLE
(P)	PROPOSED LIGHT POLE
(SW)	PROPOSED SIDEWALK
(SB)	PROPOSED SIDEWALK BOUNDARY
(E)	EXISTING ELEVATION
(P)	PROPOSED ELEVATION
(R)	RELEVANT REGION
(100)	PROPOSED FINISHED GRADE
(10)	PROPOSED FINISHED GRADE
(1.0%)	PROPOSED SLOPE & DIRECTION
(P)	PROPOSED OVERLAND FLOW
(C)	CENTERLINE
(R)	RIGHT-OF-WAY
(P)	PROPERTY LINE
(E)	EDGE OF PAVEMENT
(S)	EXISTING STORM DRAIN
(SD)	PROPOSED STORM DRAIN
(C)	EXISTING 1' CONTOUR
(C)	PROPOSED 1' CONTOUR
(C)	EXISTING 5' CONTOUR
(C)	PROPOSED 5' CONTOUR
(C)	EXISTING STORM DRAIN
(C)	PROPOSED STORM DRAIN
(C)	SECTION LINE
(C)	EXISTING SIDEWALK BOUNDARY
(C)	PROPOSED SIDEWALK BOUNDARY
(C)	EXISTING ELEVATION
(C)	PROPOSED ELEVATION
(C)	RELEVANT REGION
(C)	PROPOSED FINISHED GRADE
(C)	PROPOSED FINISHED GRADE

SYMBOL	DESCRIPTION
(AD)	ANGLE DIFFERENCE
(PL)	PROPERTY LINE
(P)	PROPOSED GRADE
(R)	RELEVANT REGION
(P)	PROPOSED FINISHED GRADE
(C)	CENTERLINE
(R)	RIGHT-OF-WAY
(P)	PROPERTY LINE
(E)	EDGE OF PAVEMENT
(S)	EXISTING STORM DRAIN
(SD)	PROPOSED STORM DRAIN
(M)	MANHOLE
(P)	PROPOSED LIGHT POLE
(SW)	PROPOSED SIDEWALK
(SB)	PROPOSED SIDEWALK BOUNDARY
(E)	EXISTING ELEVATION
(P)	PROPOSED ELEVATION
(R)	RELEVANT REGION
(100)	PROPOSED FINISHED GRADE
(10)	PROPOSED FINISHED GRADE
(1.0%)	PROPOSED SLOPE & DIRECTION
(P)	PROPOSED OVERLAND FLOW
(C)	CENTERLINE
(R)	RIGHT-OF-WAY
(P)	PROPERTY LINE
(E)	EDGE OF PAVEMENT
(S)	EXISTING STORM DRAIN
(SD)	PROPOSED STORM DRAIN
(M)	MANHOLE
(P)	PROPOSED LIGHT POLE
(SW)	PROPOSED SIDEWALK
(SB)	PROPOSED SIDEWALK BOUNDARY
(E)	EXISTING ELEVATION
(P)	PROPOSED ELEVATION
(R)	RELEVANT REGION
(100)	PROPOSED FINISHED GRADE
(10)	PROPOSED FINISHED GRADE
(1.0%)	PROPOSED SLOPE & DIRECTION
(P)	PROPOSED OVERLAND FLOW
(C)	CENTERLINE
(R)	RIGHT-OF-WAY
(P)	PROPERTY LINE
(E)	EDGE OF PAVEMENT
(S)	EXISTING STORM DRAIN
(SD)	PROPOSED STORM DRAIN
(M)	MANHOLE
(P)	PROPOSED LIGHT POLE
(SW)	PROPOSED SIDEWALK
(SB)	PROPOSED SIDEWALK BOUNDARY
(E)	EXISTING ELEVATION
(P)	PROPOSED ELEVATION
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(100)	PROPOSED FINISHED GRADE
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(1.0%)	PROPOSED SLOPE & DIRECTION
(P)	PROPOSED OVERLAND FLOW
(C)	CENTERLINE
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(E)	EDGE OF PAVEMENT
(S)	EXISTING STORM DRAIN
(SD)	PROPOSED STORM DRAIN
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(P)	PROPOSED OVERLAND FLOW
(C)	CENTERLINE
(R)	RIGHT-OF-WAY
(P)	PROPERTY LINE
(E)	EDGE OF PAVEMENT
(S)	EXISTING STORM DRAIN
(SD)	PROPOSED STORM DRAIN
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(P)	PROPOSED LIGHT POLE
(SW)	PROPOSED SIDEWALK
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(E)	EXISTING ELEVATION
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(100)	PROPOSED FINISHED GRADE
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(1.0%)	PROPOSED SLOPE & DIRECTION
(P)	PROPOSED OVERLAND FLOW
(C)	CENTERLINE
(R)	RIGHT-OF-WAY
(P)	PROPERTY LINE
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(S)	EXISTING STORM DRAIN
(SD)	PROPOSED STORM DRAIN
(M)	MANHOLE
(P)	PROPOSED LIGHT POLE
(SW)	PROPOSED SIDEWALK
(SB)	PROPOSED SIDEWALK BOUNDARY
(E)	EXISTING ELEVATION
(P)	PROPOSED ELEVATION
(R)	RELEVANT REGION
(100)	PROPOSED FINISHED GRADE
(10)	PROPOSED FINISHED GRADE
(1.0%)	PROPOSED SLOPE & DIRECTION
(P)	PROPOSED OVERLAND FLOW
(C)	CENTERLINE
(R)	RIGHT-OF-WAY
(P)	PROPERTY LINE
(E)	EDGE OF PAVEMENT
(S)	EXISTING STORM DRAIN
(SD)	PROPOSED STORM DRAIN
(M)	MANHOLE
(P)	PROPOSED LIGHT POLE
(SW)	PROPOSED SIDEWALK
(SB)	PROPOSED SIDEWALK BOUNDARY
(E)	EXISTING ELEVATION
(P)	PROPOSED ELEVATION
(R)	RELEVANT REGION
(100)	PROPOSED FINISHED GRADE
(10)	PROPOSED FINISHED GRADE
(1.0%)	PROPOSED SLOPE & DIRECTION
(P)	PROPOSED OVERLAND FLOW
(C)	CENTERLINE
(R)	RIGHT-OF-WAY
(P)	PROPERTY LINE
(E)	EDGE OF PAVEMENT
(S)	EXISTING STORM DRAIN
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(P)	PROPOSED LIGHT POLE
(SW)	PROPOSED SIDEWALK
(SB)	PROPOSED SIDEWALK BOUNDARY
(E)	EXISTING ELEVATION
(P)	PROPOSED ELEVATION
(R)	RELEVANT REGION
(100)	PROPOSED FINISHED GRADE
(10)	PROPOSED FINISHED GRADE
(1.0%)	PROPOSED SLOPE & DIRECTION
(P)	PROPOSED OVERLAND FLOW
(C)	CENTERLINE
(R)	RIGHT-OF-WAY
(P)	PROPERTY LINE
(E)	EDGE OF PAVEMENT
(S)	EXISTING STORM DRAIN
(SD)	PROPOSED STORM DRAIN
(M)	MANHOLE
(P)	PROPOSED LIGHT POLE
(SW)	PROPOSED SIDEWALK
(SB)	PROPOSED SIDEWALK BOUNDARY
(E)	EXISTING ELEVATION
(P)	PROPOSED ELEVATION
(R)	RELEVANT REGION
(100)	PROPOSED FINISHED GRADE
(10)	PROPOSED FINISHED GRADE
(1.0%)	PROPOSED SLOPE & DIRECTION

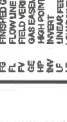
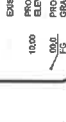
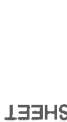
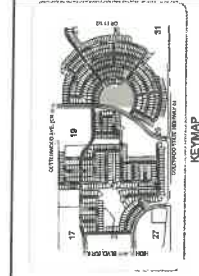
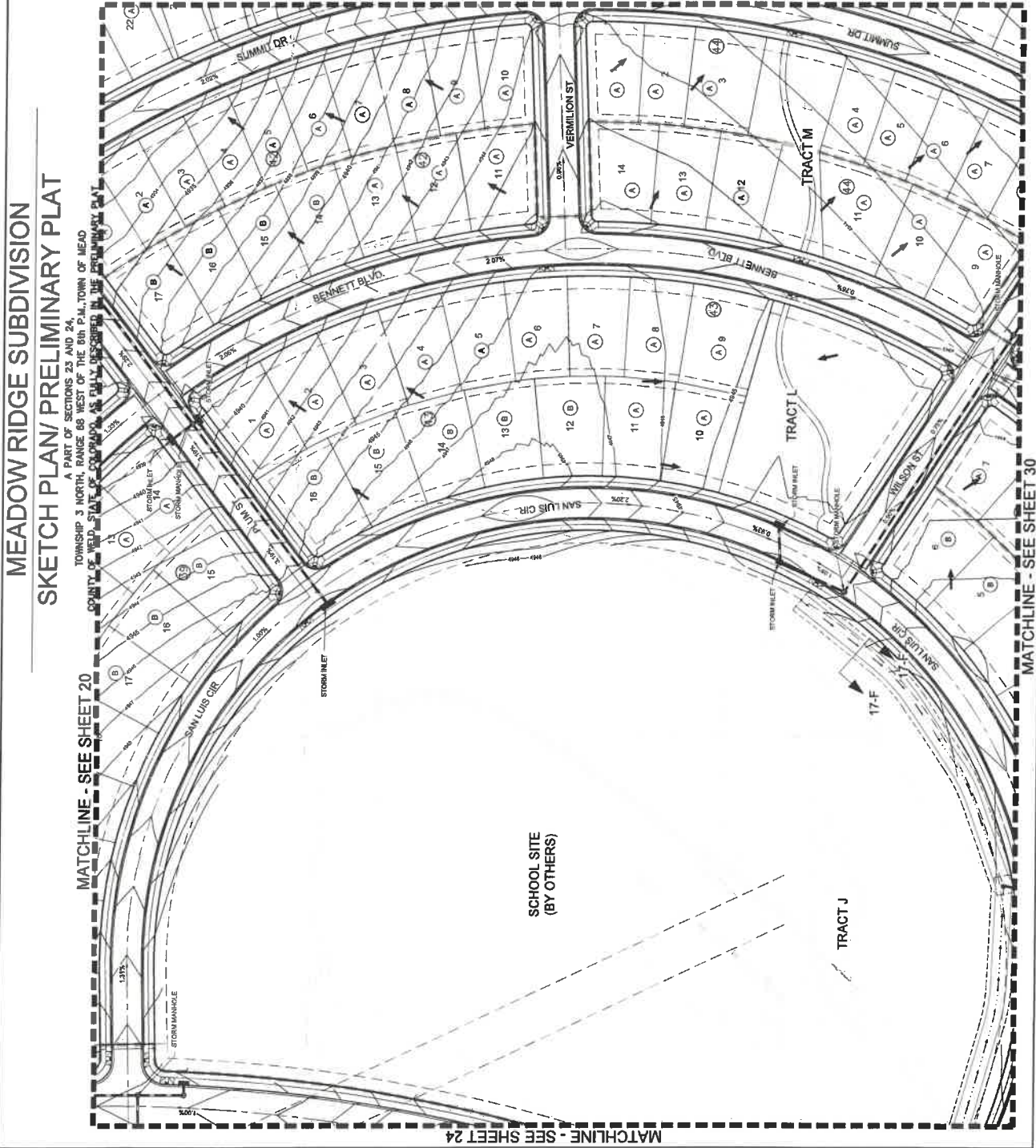
ABBREVIATIONS

- AD ANGLE DIFFERENCE
- PL PROPERTY LINE
- P PROPOSED GRADE
- R RELEVANT REGION
- P PROPOSED FINISHED GRADE
- C CENTERLINE
- R RIGHT-OF-WAY
- P PROPERTY LINE
- E EDGE OF PAVEMENT
- S EXISTING STORM DRAIN
- SD PROPOSED STORM DRAIN
- M MANHOLE
- P PROPOSED LIGHT POLE
- SW PROPOSED SIDEWALK
- SB PROPOSED SIDEWALK BOUNDARY
- E EXISTING ELEVATION
- P PROPOSED ELEVATION
- R RELEVANT REGION
- 100 PROPOSED FINISHED GRADE
- 10 PROPOSED FINISHED GRADE
- 1.0% PROPOSED SLOPE & DIRECTION
- P PROPOSED OVERLAND FLOW
- C CENTERLINE
- R RIGHT-OF-WAY
- P PROPERTY LINE
- E EDGE OF PAVEMENT
- S EXISTING STORM DRAIN
- SD PROPOSED STORM DRAIN
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- P PROPOSED LIGHT POLE
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- 1.0% PROPOSED SLOPE & DIRECTION
- P PROPOSED OVERLAND FLOW
- C CENTERLINE
- R RIGHT-OF-WAY
- P PROPERTY LINE
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- S EXISTING STORM DRAIN
- SD PROPOSED STORM DRAIN
- M MANHOLE
- P PROPOSED LIGHT POLE
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- SB PROPOSED SIDEWALK BOUNDARY
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- R RELEVANT REGION
- 100 PROPOSED FINISHED GRADE
- 10 PROPOSED FINISHED GRADE
- 1.0% PROPOSED SLOPE & DIRECTION



MEADOW RIDGE SUBDIVISION
 SKETCH PLAN/PRELIMINARY PLAT

TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 8th P.M. TOWN OF MEAD
 COUNTY OF WELD, STATE OF COLORADO AS FULLY DESCRIBED IN THE PRELIMINARY PLAT



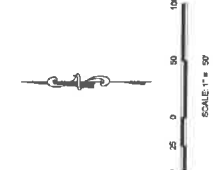
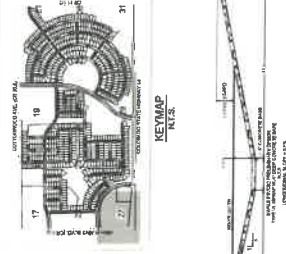
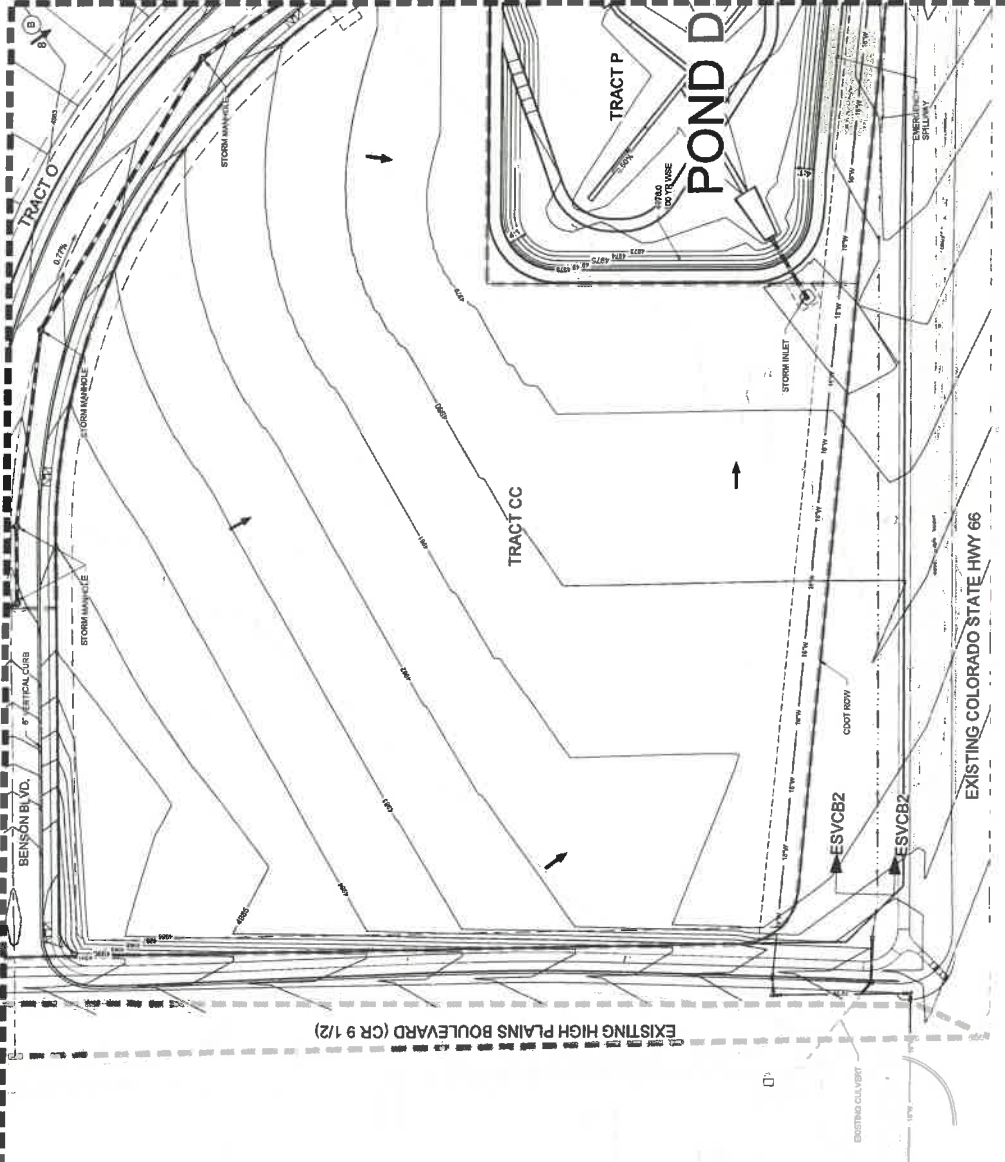
MATCHLINE - SEE SHEET 20
 MATCHLINE - SEE SHEET 24
 MATCHLINE - SEE SHEET 26
 MATCHLINE - SEE SHEET 30

MEADOW RIDGE SUBDIVISION
SKETCH PLAN/ PRELIMINARY PLAT

TOWNSHIP 3 NORTH, RANGE 66 WEST OF THE 6TH P.M. TOWN OF MEAD
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

MATCHLINE - SEE SHEET 22

EXISTING HIGH PLAINS BOULEVARD (CR 9 1/2)



(A)	BLOCK NUMBER	PROPOSED OVERLAND FLOW
(B)	LOT TYPE	CENTERLINE
(C)	LOT NUMBER	ROOF-DRAIN
(D)	EXISTING FLARED END SECTION	PROPERTY LINE
(E)	EXISTING STORM DRAIN	EDGE OF PAVEMENT
(F)	EXISTING STORM DRAIN MANHOLE	EXISTING STORM DRAIN
(G)	EXISTING STORM DRAIN MANHOLE	EXISTING STORM DRAIN
(H)	PROPOSED SIDEWALK	EXISTING 1' CONTOUR
(I)	PROPOSED SIDEWALK	EXISTING 2' CONTOUR
(J)	PUMP	EXISTING 3' CONTOUR
(K)	EXISTING ELEVATION	PROPOSED 1' CONTOUR
(L)	PROPOSED DESIGN ELEVATION	EXISTING STORM DRAIN
(M)	PROPOSED FINISHED GRADE	SECTION LINE
(N)		FLUM BOUNDARY
(O)		PROPOSED SLOPE & DIRECTION

AD	ANGLE DIFFERENCE	PVC	POLYVINYL CHLORIDE
BL	ELEVATION	RBC	REINFORCED CONCRETE BOX
FL	FLOW LINE	RCP	REINFORCED CONCRETE PIPE
FL	FLOW LINE	RM	ROAD MARKING
FL	FLOW LINE	SD	STORM DRAIN
FL	FLOW LINE	ST	STATION LINE
FL	FLOW LINE	STA	STATION LINE
FL	FLOW LINE	T.O.P.	TOP OF PIPE
FL	FLOW LINE	UP	LOW POINT
FL	FLOW LINE	WSE	WATER SURFACE ELEVATION
N.E.S.	NOT TO SCALE		

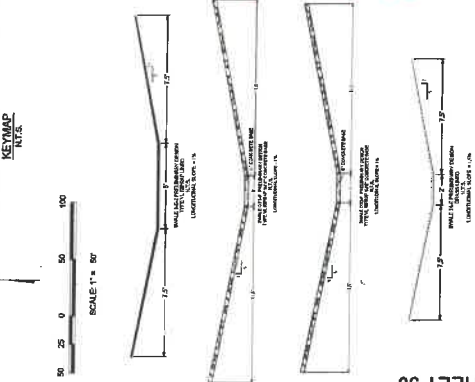
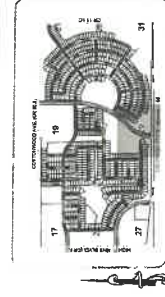
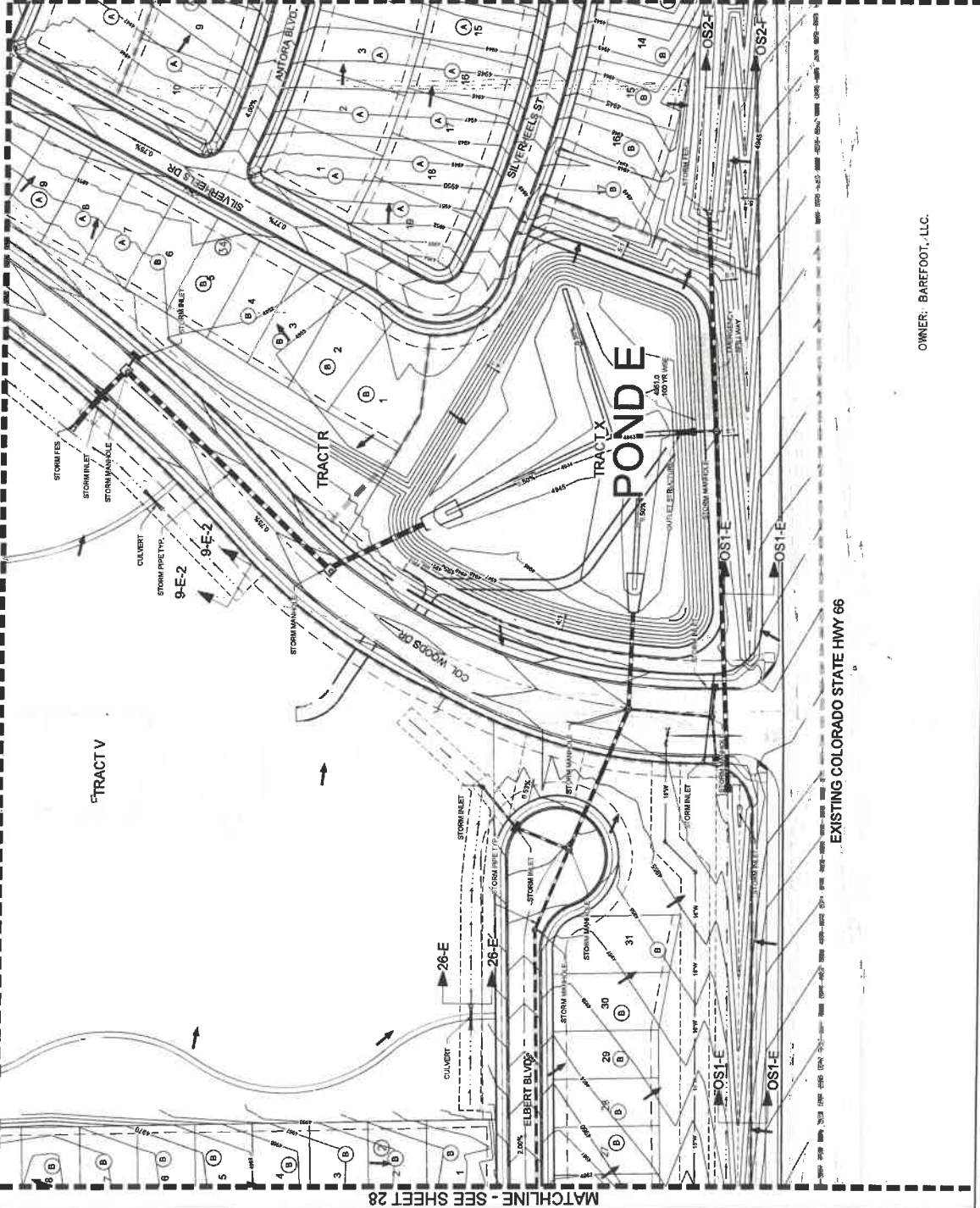
OWNER: DOUTHIT LONGMONT, LLC.

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DATE: APRIL 2022	SCALE: AS SHOWN	DRAWN BY: [REDACTED]	CHECKED BY: [REDACTED]	FILE NO: 23960
MEADOW RIDGE SUBDIVISION PRELIMINARY PLAT				
PRELIMINARY GRADING AND DRAINAGE PLAN				
CMR HOLDING COMPANY, LLC 1268 S CLAYTON ST DENVER, CO 80201				
Westwood Engineering Services, Inc. 1033 E DRY CREEK RD FLORENCE, CO 80541 TEL: 720.423.9318				
DATE: [REDACTED]	DATE: [REDACTED]	DATE: [REDACTED]	DATE: [REDACTED]	DATE: [REDACTED]
NO. [REDACTED]	NO. [REDACTED]	NO. [REDACTED]	NO. [REDACTED]	NO. [REDACTED]
NO. [REDACTED]	NO. [REDACTED]	NO. [REDACTED]	NO. [REDACTED]	NO. [REDACTED]
NO. [REDACTED]	NO. [REDACTED]	NO. [REDACTED]	NO. [REDACTED]	NO. [REDACTED]

**MEADOW RIDGE SUBDIVISION
 SKETCH PLAN/PRELIMINARY PLAT**

A PART OF SECTIONS 23 AND 24,
 TOWNSHIP 3 NORTH, RANGE 88 WEST OF THE 8th P.M., TOWN OF MEAD,
 COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT
 MATCHLINE - SEE SHEET 24



LEGEND

(Symbol)	PROPERTY LINE	(Symbol)	PROPOSED OVERLAND FLOW
(Symbol)	EXISTING 1' CONTOUR	(Symbol)	PROPOSED 1' CONTOUR
(Symbol)	EXISTING 2' CONTOUR	(Symbol)	PROPOSED 2' CONTOUR
(Symbol)	EXISTING 3' CONTOUR	(Symbol)	PROPOSED 3' CONTOUR
(Symbol)	EXISTING 4' CONTOUR	(Symbol)	PROPOSED 4' CONTOUR
(Symbol)	EXISTING 5' CONTOUR	(Symbol)	PROPOSED 5' CONTOUR
(Symbol)	EXISTING 6' CONTOUR	(Symbol)	PROPOSED 6' CONTOUR
(Symbol)	EXISTING 7' CONTOUR	(Symbol)	PROPOSED 7' CONTOUR
(Symbol)	EXISTING 8' CONTOUR	(Symbol)	PROPOSED 8' CONTOUR
(Symbol)	EXISTING 9' CONTOUR	(Symbol)	PROPOSED 9' CONTOUR
(Symbol)	EXISTING 10' CONTOUR	(Symbol)	PROPOSED 10' CONTOUR
(Symbol)	EXISTING 11' CONTOUR	(Symbol)	PROPOSED 11' CONTOUR
(Symbol)	EXISTING 12' CONTOUR	(Symbol)	PROPOSED 12' CONTOUR
(Symbol)	EXISTING 13' CONTOUR	(Symbol)	PROPOSED 13' CONTOUR
(Symbol)	EXISTING 14' CONTOUR	(Symbol)	PROPOSED 14' CONTOUR
(Symbol)	EXISTING 15' CONTOUR	(Symbol)	PROPOSED 15' CONTOUR
(Symbol)	EXISTING 16' CONTOUR	(Symbol)	PROPOSED 16' CONTOUR
(Symbol)	EXISTING 17' CONTOUR	(Symbol)	PROPOSED 17' CONTOUR
(Symbol)	EXISTING 18' CONTOUR	(Symbol)	PROPOSED 18' CONTOUR
(Symbol)	EXISTING 19' CONTOUR	(Symbol)	PROPOSED 19' CONTOUR
(Symbol)	EXISTING 20' CONTOUR	(Symbol)	PROPOSED 20' CONTOUR
(Symbol)	EXISTING 21' CONTOUR	(Symbol)	PROPOSED 21' CONTOUR
(Symbol)	EXISTING 22' CONTOUR	(Symbol)	PROPOSED 22' CONTOUR
(Symbol)	EXISTING 23' CONTOUR	(Symbol)	PROPOSED 23' CONTOUR
(Symbol)	EXISTING 24' CONTOUR	(Symbol)	PROPOSED 24' CONTOUR
(Symbol)	EXISTING 25' CONTOUR	(Symbol)	PROPOSED 25' CONTOUR
(Symbol)	EXISTING 26' CONTOUR	(Symbol)	PROPOSED 26' CONTOUR
(Symbol)	EXISTING 27' CONTOUR	(Symbol)	PROPOSED 27' CONTOUR
(Symbol)	EXISTING 28' CONTOUR	(Symbol)	PROPOSED 28' CONTOUR
(Symbol)	EXISTING 29' CONTOUR	(Symbol)	PROPOSED 29' CONTOUR
(Symbol)	EXISTING 30' CONTOUR	(Symbol)	PROPOSED 30' CONTOUR
(Symbol)	EXISTING 31' CONTOUR	(Symbol)	PROPOSED 31' CONTOUR
(Symbol)	EXISTING 32' CONTOUR	(Symbol)	PROPOSED 32' CONTOUR
(Symbol)	EXISTING 33' CONTOUR	(Symbol)	PROPOSED 33' CONTOUR
(Symbol)	EXISTING 34' CONTOUR	(Symbol)	PROPOSED 34' CONTOUR
(Symbol)	EXISTING 35' CONTOUR	(Symbol)	PROPOSED 35' CONTOUR
(Symbol)	EXISTING 36' CONTOUR	(Symbol)	PROPOSED 36' CONTOUR
(Symbol)	EXISTING 37' CONTOUR	(Symbol)	PROPOSED 37' CONTOUR
(Symbol)	EXISTING 38' CONTOUR	(Symbol)	PROPOSED 38' CONTOUR
(Symbol)	EXISTING 39' CONTOUR	(Symbol)	PROPOSED 39' CONTOUR
(Symbol)	EXISTING 40' CONTOUR	(Symbol)	PROPOSED 40' CONTOUR
(Symbol)	EXISTING 41' CONTOUR	(Symbol)	PROPOSED 41' CONTOUR
(Symbol)	EXISTING 42' CONTOUR	(Symbol)	PROPOSED 42' CONTOUR
(Symbol)	EXISTING 43' CONTOUR	(Symbol)	PROPOSED 43' CONTOUR
(Symbol)	EXISTING 44' CONTOUR	(Symbol)	PROPOSED 44' CONTOUR
(Symbol)	EXISTING 45' CONTOUR	(Symbol)	PROPOSED 45' CONTOUR
(Symbol)	EXISTING 46' CONTOUR	(Symbol)	PROPOSED 46' CONTOUR
(Symbol)	EXISTING 47' CONTOUR	(Symbol)	PROPOSED 47' CONTOUR
(Symbol)	EXISTING 48' CONTOUR	(Symbol)	PROPOSED 48' CONTOUR
(Symbol)	EXISTING 49' CONTOUR	(Symbol)	PROPOSED 49' CONTOUR
(Symbol)	EXISTING 50' CONTOUR	(Symbol)	PROPOSED 50' CONTOUR

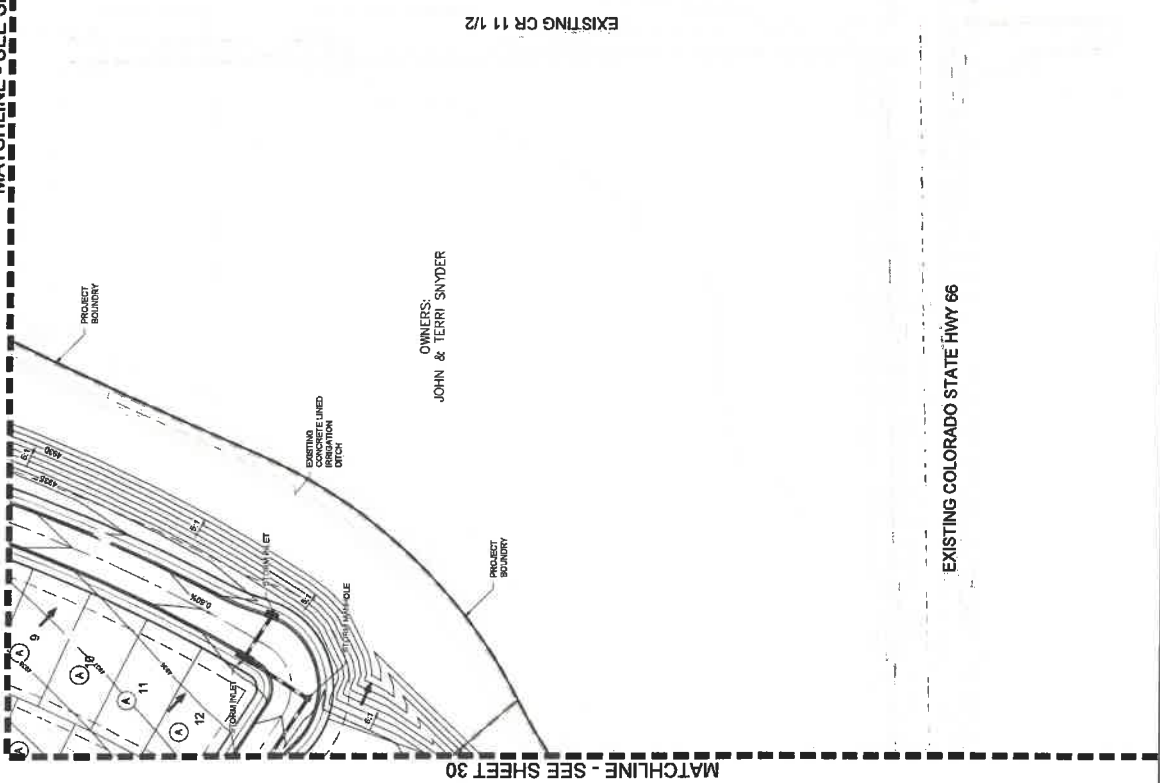
ABBREVIATIONS

AD	ANGLE DISTANCE	P	PROPOSED 1' LINE
FC	FINISHED CURB	P.C.	PROPOSED 2' LINE
FL	FLOW LINE	P.O.C.	PROPOSED 3' LINE
FX	FLYING	P.O.P.	PROPOSED 4' LINE
GL	GRADE	P.O.S.	PROPOSED 5' LINE
GR	GRASS	P.O.T.	PROPOSED 6' LINE
IC	IRREGULAR CENTERLINE	P.O.U.	PROPOSED 7' LINE
IR	IRREGULAR RIGHT-OF-WAY	P.O.V.	PROPOSED 8' LINE
IS	IRREGULAR SURFACE	P.O.W.	PROPOSED 9' LINE
IS	IRREGULAR SIDEWALK	P.O.X.	PROPOSED 10' LINE
IS	IRREGULAR STORM DRAIN	P.O.Y.	PROPOSED 11' LINE
IS	IRREGULAR STORM DRAIN	P.O.Z.	PROPOSED 12' LINE
IS	IRREGULAR STORM DRAIN	P.O.A.	PROPOSED 13' LINE
IS	IRREGULAR STORM DRAIN	P.O.B.	PROPOSED 14' LINE
IS	IRREGULAR STORM DRAIN	P.O.C.	PROPOSED 15' LINE
IS	IRREGULAR STORM DRAIN	P.O.D.	PROPOSED 16' LINE
IS	IRREGULAR STORM DRAIN	P.O.E.	PROPOSED 17' LINE
IS	IRREGULAR STORM DRAIN	P.O.F.	PROPOSED 18' LINE
IS	IRREGULAR STORM DRAIN	P.O.G.	PROPOSED 19' LINE
IS	IRREGULAR STORM DRAIN	P.O.H.	PROPOSED 20' LINE
IS	IRREGULAR STORM DRAIN	P.O.I.	PROPOSED 21' LINE
IS	IRREGULAR STORM DRAIN	P.O.J.	PROPOSED 22' LINE
IS	IRREGULAR STORM DRAIN	P.O.K.	PROPOSED 23' LINE
IS	IRREGULAR STORM DRAIN	P.O.L.	PROPOSED 24' LINE
IS	IRREGULAR STORM DRAIN	P.O.M.	PROPOSED 25' LINE
IS	IRREGULAR STORM DRAIN	P.O.N.	PROPOSED 26' LINE
IS	IRREGULAR STORM DRAIN	P.O.O.	PROPOSED 27' LINE
IS	IRREGULAR STORM DRAIN	P.O.P.	PROPOSED 28' LINE
IS	IRREGULAR STORM DRAIN	P.O.Q.	PROPOSED 29' LINE
IS	IRREGULAR STORM DRAIN	P.O.R.	PROPOSED 30' LINE
IS	IRREGULAR STORM DRAIN	P.O.S.	PROPOSED 31' LINE
IS	IRREGULAR STORM DRAIN	P.O.T.	PROPOSED 32' LINE
IS	IRREGULAR STORM DRAIN	P.O.U.	PROPOSED 33' LINE
IS	IRREGULAR STORM DRAIN	P.O.V.	PROPOSED 34' LINE
IS	IRREGULAR STORM DRAIN	P.O.W.	PROPOSED 35' LINE
IS	IRREGULAR STORM DRAIN	P.O.X.	PROPOSED 36' LINE
IS	IRREGULAR STORM DRAIN	P.O.Y.	PROPOSED 37' LINE
IS	IRREGULAR STORM DRAIN	P.O.Z.	PROPOSED 38' LINE
IS	IRREGULAR STORM DRAIN	P.O.A.	PROPOSED 39' LINE
IS	IRREGULAR STORM DRAIN	P.O.B.	PROPOSED 40' LINE
IS	IRREGULAR STORM DRAIN	P.O.C.	PROPOSED 41' LINE
IS	IRREGULAR STORM DRAIN	P.O.D.	PROPOSED 42' LINE
IS	IRREGULAR STORM DRAIN	P.O.E.	PROPOSED 43' LINE
IS	IRREGULAR STORM DRAIN	P.O.F.	PROPOSED 44' LINE
IS	IRREGULAR STORM DRAIN	P.O.G.	PROPOSED 45' LINE
IS	IRREGULAR STORM DRAIN	P.O.H.	PROPOSED 46' LINE
IS	IRREGULAR STORM DRAIN	P.O.I.	PROPOSED 47' LINE
IS	IRREGULAR STORM DRAIN	P.O.J.	PROPOSED 48' LINE
IS	IRREGULAR STORM DRAIN	P.O.K.	PROPOSED 49' LINE
IS	IRREGULAR STORM DRAIN	P.O.L.	PROPOSED 50' LINE

OWNER: BAREFOOT, LLC.

MEADOW RIDGE SUBDIVISION SKETCH PLAN/PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24,
TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 8th P.M. TOWN OF MEAD,
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT
MATCHLINE - SEE SHEET 26



OWNERS:
JOHN & TERRI SNYDER

MATCHLINE - SEE SHEET 30

EXISTING CR 11 1/2

EXISTING COLORADO STATE HWY 66

LEGEND

- ② BLOCK NUMBER
- Ⓐ LOT TYPE
- Ⓒ LOT NUMBER
- Ⓓ EXISTING PLAZED END SECTION
- Ⓔ EXISTING STORM DRAIN
- Ⓕ EXISTING STORM DRAIN MANHOLE
- Ⓖ PROPOSED LIGHT POLE
- Ⓗ PROPOSED SIDEWALK
- Ⓘ PROPOSED SIDEWALK RAMP
- Ⓚ PROPOSED ELEVATION
- Ⓛ EXISTING ELEVATION
- Ⓜ 10.00
- Ⓝ PROPOSED OVERLAND FLOW
- Ⓞ CENTERLINE
- Ⓟ RIGHT-OF-WAY
- Ⓠ PROPERTY LINE
- Ⓡ EDGE OF PAVEMENT
- Ⓢ EXISTING 1' CONTOUR
- Ⓣ EXISTING 5' CONTOUR
- Ⓤ PROPOSED 1' CONTOUR
- Ⓥ PROPOSED 5' CONTOUR
- Ⓦ EXISTING STORM DRAIN
- Ⓧ SEPTIC TANK
- Ⓨ PROPOSED FINISHED GRADE
- Ⓩ PROPOSED FINISHED GRADE DIRECTION

ABBREVIATIONS

- Ⓐ MANHOLE ELEVATION
- Ⓑ FINISHED GRADE ELEVATION
- Ⓒ FIELD VERIFY
- Ⓓ HIGH POINT
- Ⓔ LOW POINT
- Ⓕ T.O.P. TOP OF PIPE
- Ⓖ W.P. WATER SURFACE ELEVATION
- Ⓝ POLYETHYLENE GLASS REINFORCED CONCRETE PIPE
- Ⓞ POLYETHYLENE GLASS REINFORCED CONCRETE DRAIN
- Ⓟ SECTION LINE
- Ⓠ T.O.P. TOP OF PIPE
- Ⓡ W.P. WATER SURFACE ELEVATION
- Ⓢ N.T.S. NOT TO SCALE

Westwood
Westwood Professional Services, Inc.
1933 S. DART CREEK RD.
DENVER, CO 80212
TEL: 728.422.9282

CMR HOLDING COMPANY, LLC
1288 S CLAYTON ST
DENVER, CO 80210

MEADOW RIDGE SUBDIVISION
PRELIMINARY PLAT
PRELIMINARY GRADING AND DRAINAGE PLAN

DATE: APRIL 2023
FILE NO: 23360
AS SHOWN
SCALE: AS SHOWN

SHEET NUMBER: 31
CALL 811
BEFORE YOU DIG
UNCC
1-800-922-1987

MEADOW RIDGE SUBDIVISION

SKETCH PLAN/PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24
TOWNSHIP 3 NORTH, RANGE 88 WEST OF THE 6th P.M., TOWN OF MEAD
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

OWNER: SEMCH PROPERTIES, LLC

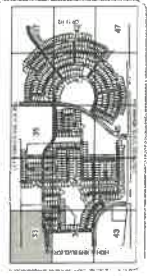
EXISTING COTTONWOOD AVE (CR 30 1/2)

EXISTING HIGH PLAINS BOULEVARD (CR 9 1/2)

TRACT AA

MATCHLINE - SEE SHEET 34

MATCHLINE - SEE SHEET 38



UTILITY LEGEND	
[Symbol]	PROPOSED 6" WATERLINE
[Symbol]	PROPOSED 8" WATERLINE
[Symbol]	PROPOSED PRESSURE RELEASE VALVE
[Symbol]	PROPOSED 4" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 6" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 8" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 10" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 12" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 15" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 18" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 24" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 30" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 36" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 42" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 48" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 54" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 60" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 66" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 72" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 78" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 84" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 90" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 96" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 102" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 108" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 114" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 120" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 126" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 132" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 138" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 144" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 150" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 156" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 162" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 168" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 174" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 180" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 186" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 192" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 198" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 204" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 210" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 216" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 222" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 228" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 234" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 240" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 246" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 252" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 258" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 264" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 270" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 276" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 282" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 288" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 294" SANITARY SEWER MANHOLE
[Symbol]	PROPOSED 300" SANITARY SEWER MANHOLE

Westwood
Westwood Professional Services, Inc.
10333 E CREY CHASE DR
DENVER, CO 80220
TEL: 720.452.5226

OWNER: SEMCH PROPERTIES, LLC
1288 S CLAYTON ST
DENVER, CO 80210

DATE: 04/11/2022
FILE NO: 22360
PROJECT NO: AS SHOWN
SCALE: AS SHOWN
DRAWN BY: [Name]
CHECKED BY: [Name]

MEADOW RIDGE SUBDIVISION
PRELIMINARY AREA UTILITY PLAN
PRELIMINARY PLAT

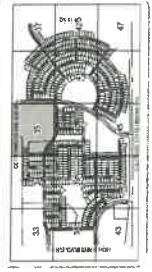
33
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UNCC
1-800-922-1967

MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

A PART OF SECTIONS 23, AND 24,
TOWNSHIP 3 NORTH, RANGE 65 WEST OF THE 8TH P.M. TOWN OF MEAD
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

OWNER: SEMICH PROPERTIES, LLC

OWNER: RAM LAND CO, LLC

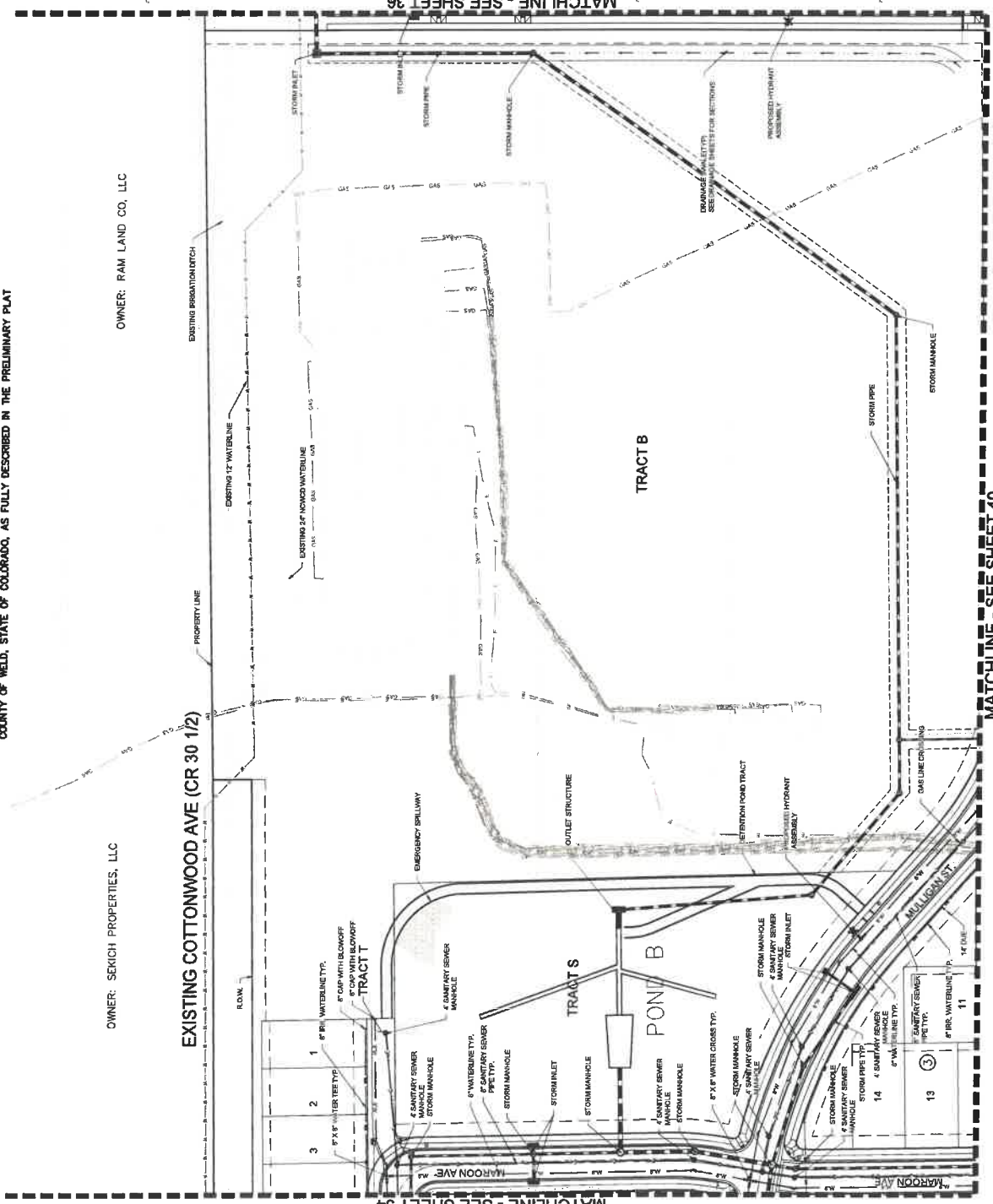
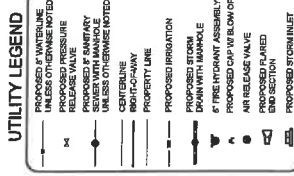


EXISTING COTTONWOOD AVE (CR 30 1/2)

MATCHLINE - SEE SHEET 34

MATCHLINE - SEE SHEET 36

MATCHLINE - SEE SHEET 40



DATE: APR 2022		DRAWN BY: AS SHOWN		SHEET NUMBER: 35	
FILE NO: 22360		CHECKED BY: AS SHOWN		SCALE: AS SHOWN	
MEADOW RIDGE SUBDIVISION PRELIMINARY PLAT		PRELIMINARY AREA UTILITY PLAN		CMR HOLDING COMPANY, LLC 1288 S CLAYTON ST DENVER, CO 80219	
Westwood Professional Services, Inc. 10933 CRI CREEK RD DENVER, CO 80231 TEL: 724.642.9928		Westwood.com			

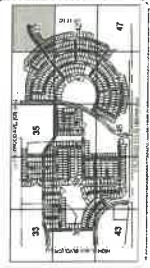
CALL 811
BEFORE YOU DIG
UNCC 1-800-922-1987

MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24,
TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M. TOWN OF MEAD,
COUNTY OF WELLS, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

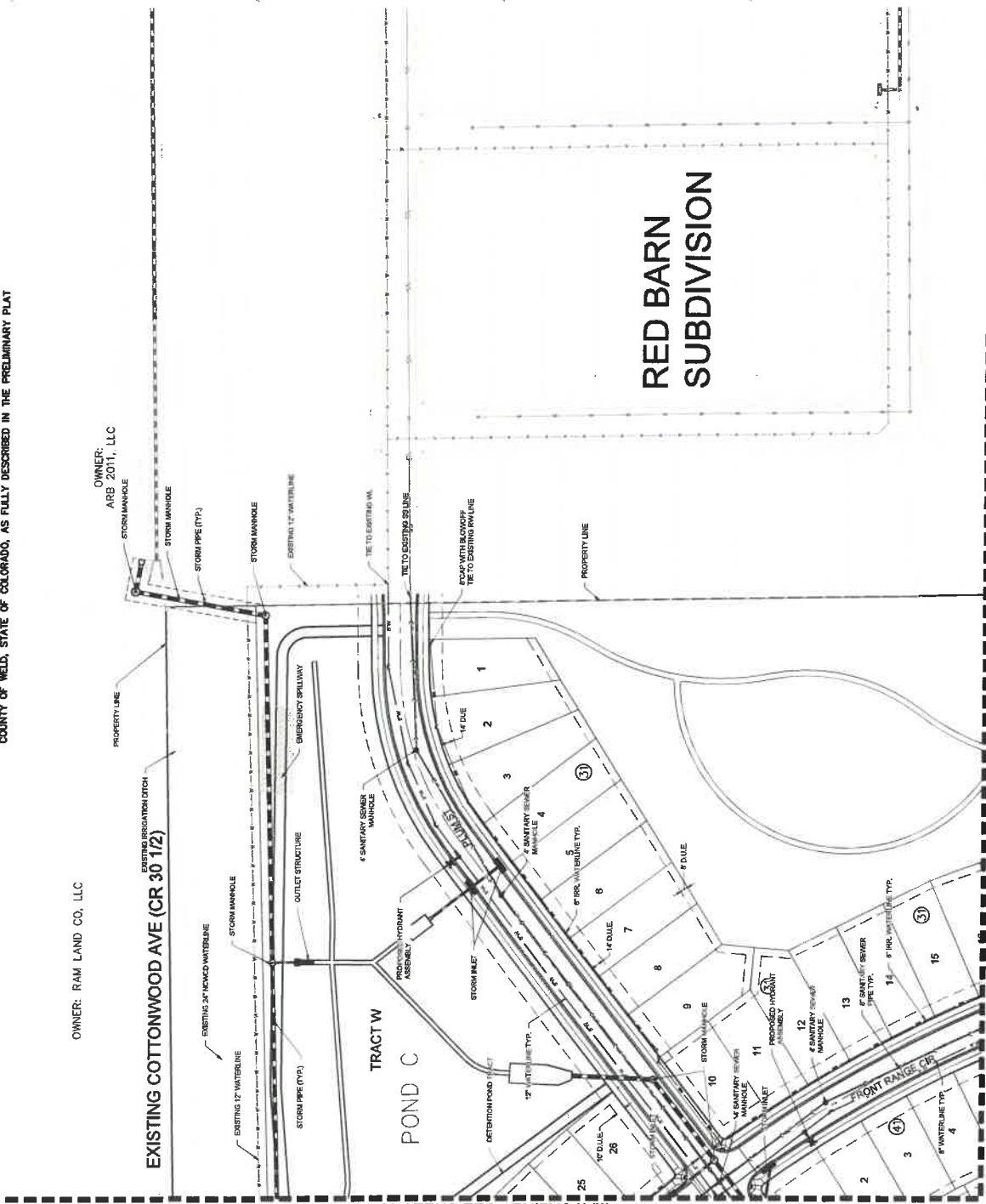
OWNER: RAM LAND CO, LLC

OWNER:
ARB 2011, LLC



UTILITY LEGEND

(Symbol)	PROPOSED 6" WATERLINE
(Symbol)	PROPOSED 4" WATERLINE
(Symbol)	PROPOSED 8" WASTE/SEWER
(Symbol)	PROPOSED 12" WASTE/SEWER
(Symbol)	PROPOSED 16" WASTE/SEWER
(Symbol)	PROPOSED 24" WASTE/SEWER
(Symbol)	PROPOSED 36" WASTE/SEWER
(Symbol)	PROPOSED 48" WASTE/SEWER
(Symbol)	PROPOSED 60" WASTE/SEWER
(Symbol)	PROPOSED 72" WASTE/SEWER
(Symbol)	PROPOSED 84" WASTE/SEWER
(Symbol)	PROPOSED 96" WASTE/SEWER
(Symbol)	PROPOSED 108" WASTE/SEWER
(Symbol)	PROPOSED 120" WASTE/SEWER
(Symbol)	PROPOSED 144" WASTE/SEWER
(Symbol)	PROPOSED 180" WASTE/SEWER
(Symbol)	PROPOSED 240" WASTE/SEWER
(Symbol)	PROPOSED 300" WASTE/SEWER
(Symbol)	PROPOSED 360" WASTE/SEWER
(Symbol)	PROPOSED 420" WASTE/SEWER
(Symbol)	PROPOSED 480" WASTE/SEWER
(Symbol)	PROPOSED 540" WASTE/SEWER
(Symbol)	PROPOSED 600" WASTE/SEWER
(Symbol)	PROPOSED 660" WASTE/SEWER
(Symbol)	PROPOSED 720" WASTE/SEWER
(Symbol)	PROPOSED 780" WASTE/SEWER
(Symbol)	PROPOSED 840" WASTE/SEWER
(Symbol)	PROPOSED 900" WASTE/SEWER
(Symbol)	PROPOSED 960" WASTE/SEWER
(Symbol)	PROPOSED 1020" WASTE/SEWER
(Symbol)	PROPOSED 1080" WASTE/SEWER
(Symbol)	PROPOSED 1140" WASTE/SEWER
(Symbol)	PROPOSED 1200" WASTE/SEWER
(Symbol)	PROPOSED 1260" WASTE/SEWER
(Symbol)	PROPOSED 1320" WASTE/SEWER
(Symbol)	PROPOSED 1380" WASTE/SEWER
(Symbol)	PROPOSED 1440" WASTE/SEWER
(Symbol)	PROPOSED 1500" WASTE/SEWER
(Symbol)	PROPOSED 1560" WASTE/SEWER
(Symbol)	PROPOSED 1620" WASTE/SEWER
(Symbol)	PROPOSED 1680" WASTE/SEWER
(Symbol)	PROPOSED 1740" WASTE/SEWER
(Symbol)	PROPOSED 1800" WASTE/SEWER
(Symbol)	PROPOSED 1860" WASTE/SEWER
(Symbol)	PROPOSED 1920" WASTE/SEWER
(Symbol)	PROPOSED 1980" WASTE/SEWER
(Symbol)	PROPOSED 2040" WASTE/SEWER
(Symbol)	PROPOSED 2100" WASTE/SEWER
(Symbol)	PROPOSED 2160" WASTE/SEWER
(Symbol)	PROPOSED 2220" WASTE/SEWER
(Symbol)	PROPOSED 2280" WASTE/SEWER
(Symbol)	PROPOSED 2340" WASTE/SEWER
(Symbol)	PROPOSED 2400" WASTE/SEWER
(Symbol)	PROPOSED 2460" WASTE/SEWER
(Symbol)	PROPOSED 2520" WASTE/SEWER
(Symbol)	PROPOSED 2580" WASTE/SEWER
(Symbol)	PROPOSED 2640" WASTE/SEWER
(Symbol)	PROPOSED 2700" WASTE/SEWER
(Symbol)	PROPOSED 2760" WASTE/SEWER
(Symbol)	PROPOSED 2820" WASTE/SEWER
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(Symbol)	PROPOSED 2940" WASTE/SEWER
(Symbol)	PROPOSED 3000" WASTE/SEWER
(Symbol)	PROPOSED 3060" WASTE/SEWER
(Symbol)	PROPOSED 3120" WASTE/SEWER
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(Symbol)	PROPOSED 3840" WASTE/SEWER
(Symbol)	PROPOSED 3900" WASTE/SEWER
(Symbol)	PROPOSED 3960" WASTE/SEWER
(Symbol)	PROPOSED 4020" WASTE/SEWER
(Symbol)	PROPOSED 4080" WASTE/SEWER
(Symbol)	PROPOSED 4140" WASTE/SEWER
(Symbol)	PROPOSED 4200" WASTE/SEWER
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(Symbol)	PROPOSED 4320" WASTE/SEWER
(Symbol)	PROPOSED 4380" WASTE/SEWER
(Symbol)	PROPOSED 4440" WASTE/SEWER
(Symbol)	PROPOSED 4500" WASTE/SEWER
(Symbol)	PROPOSED 4560" WASTE/SEWER
(Symbol)	PROPOSED 4620" WASTE/SEWER
(Symbol)	PROPOSED 4680" WASTE/SEWER
(Symbol)	PROPOSED 4740" WASTE/SEWER
(Symbol)	PROPOSED 4800" WASTE/SEWER
(Symbol)	PROPOSED 4860" WASTE/SEWER
(Symbol)	PROPOSED 4920" WASTE/SEWER
(Symbol)	PROPOSED 4980" WASTE/SEWER
(Symbol)	PROPOSED 5040" WASTE/SEWER
(Symbol)	PROPOSED 5100" WASTE/SEWER
(Symbol)	PROPOSED 5160" WASTE/SEWER
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(Symbol)	PROPOSED 5340" WASTE/SEWER
(Symbol)	PROPOSED 5400" WASTE/SEWER
(Symbol)	PROPOSED 5460" WASTE/SEWER
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(Symbol)	PROPOSED 5580" WASTE/SEWER
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(Symbol)	PROPOSED 6060" WASTE/SEWER
(Symbol)	PROPOSED 6120" WASTE/SEWER
(Symbol)	PROPOSED 6180" WASTE/SEWER
(Symbol)	PROPOSED 6240" WASTE/SEWER
(Symbol)	PROPOSED 6300" WASTE/SEWER
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(Symbol)	PROPOSED 6540" WASTE/SEWER
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(Symbol)	PROPOSED 7320" WASTE/SEWER
(Symbol)	PROPOSED 7380" WASTE/SEWER
(Symbol)	PROPOSED 7440" WASTE/SEWER
(Symbol)	PROPOSED 7500" WASTE/SEWER
(Symbol)	PROPOSED 7560" WASTE/SEWER
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(Symbol)	PROPOSED 8940" WASTE/SEWER
(Symbol)	PROPOSED 9000" WASTE/SEWER
(Symbol)	PROPOSED 9060" WASTE/SEWER
(Symbol)	PROPOSED 9120" WASTE/SEWER
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(Symbol)	PROPOSED 9300" WASTE/SEWER
(Symbol)	PROPOSED 9360" WASTE/SEWER
(Symbol)	PROPOSED 9420" WASTE/SEWER
(Symbol)	PROPOSED 9480" WASTE/SEWER
(Symbol)	PROPOSED 9540" WASTE/SEWER
(Symbol)	PROPOSED 9600" WASTE/SEWER
(Symbol)	PROPOSED 9660" WASTE/SEWER
(Symbol)	PROPOSED 9720" WASTE/SEWER
(Symbol)	PROPOSED 9780" WASTE/SEWER
(Symbol)	PROPOSED 9840" WASTE/SEWER
(Symbol)	PROPOSED 9900" WASTE/SEWER
(Symbol)	PROPOSED 9960" WASTE/SEWER
(Symbol)	PROPOSED 10020" WASTE/SEWER



MATCHLINE - SEE SHEET 36

MATCHLINE - SEE SHEET 42

DATE:	APR 2022	37
FILE NO.:	AS SHOWN	
CHECKED BY:		
DRAWN BY:		
SCALE:		

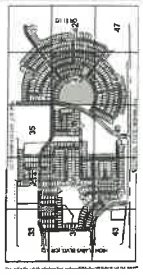
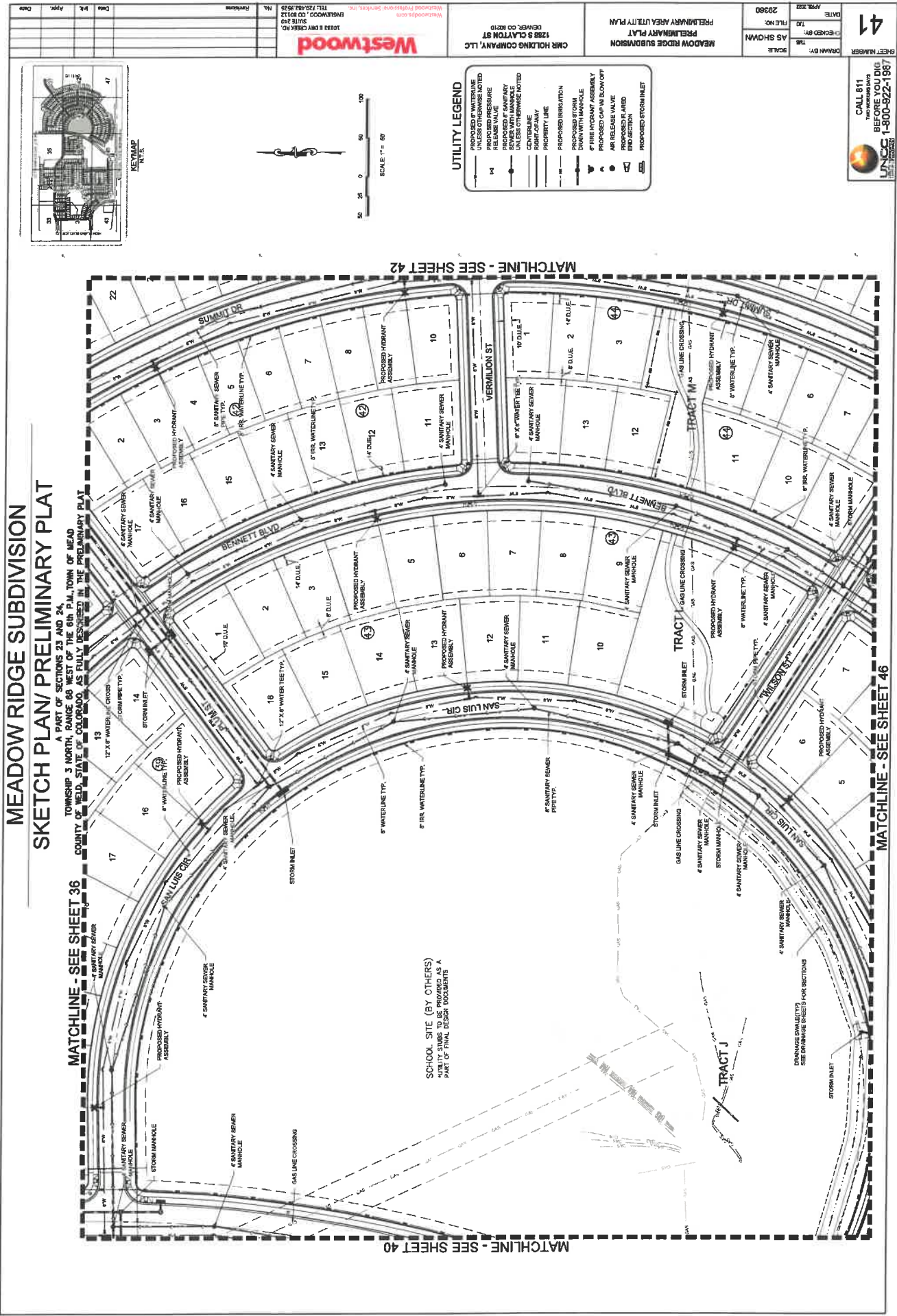
MEADOW RIDGE SUBDIVISION
PRELIMINARY AREA UTILITY PLAN
CARR HOLDING COMPANY, LLC
1288 S CLAYTON ST
DENVER, CO 80202

Westwood
ENGLANDWOOD, CO 80112
1333 E DRY CREEK RD
TEL: 720.422.9212

CALL 811
THE COLORADO
BEFORE YOU DIG
UNCC
1-800-922-1987

MEADOW RIDGE SUBDIVISION SKETCH PLAN/PRELIMINARY PLAT

TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M. TOWN OF MEAD
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT



UTILITY LEGEND

- PROPOSED 8" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 12" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 8" SANITARY SEWER UNLESS OTHERWISE NOTED
- PROPOSED 12" SANITARY SEWER UNLESS OTHERWISE NOTED
- PROPOSED 12" STORM SEWER UNLESS OTHERWISE NOTED
- PROPOSED 4" GAS UNLESS OTHERWISE NOTED
- PROPOSED IRRIGATION
- PROPOSED STORM DRAIN WITH MANHOLE
- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED CAP W/ BLOW OFF
- PROPOSED AIR RELEASE VALVE
- PROPOSED 8" WED
- PROPOSED STORM INLET

41
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UNICC 1-800-822-1987

MEADOW RIDGE SUBDIVISION
PRELIMINARY PLAT
PRELIMINARY AREA UTILTY PLAN

CMR HOLDING COMPANY, LLC
1228 S CLAYTON ST
DENVER, CO 80210

Westwood
1033 S ERY ST SUITE 200
ENGLEWOOD, CO 80122
TEL: 724.624.9225

DATE	BY	APP.	CHK.
2/28/20	AS SHOWN		

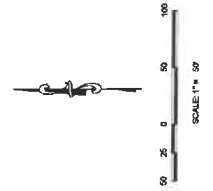
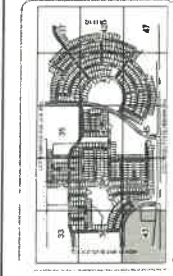
PROJECT INFORMATION: MEADOW RIDGE SUBDIVISION PRELIMINARY AREA UTILTY PLAN, CMR HOLDING COMPANY, LLC, DENVER, CO, 80210, 4/20/20 10:47 AM

MEADOW RIDGE SUBDIVISION
SKETCH PLAN/ PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24,
TOWNSHIP 3 NORTH, RANGE 88 WEST OF THE 6TH P.M. TOWN OF MEAD,
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

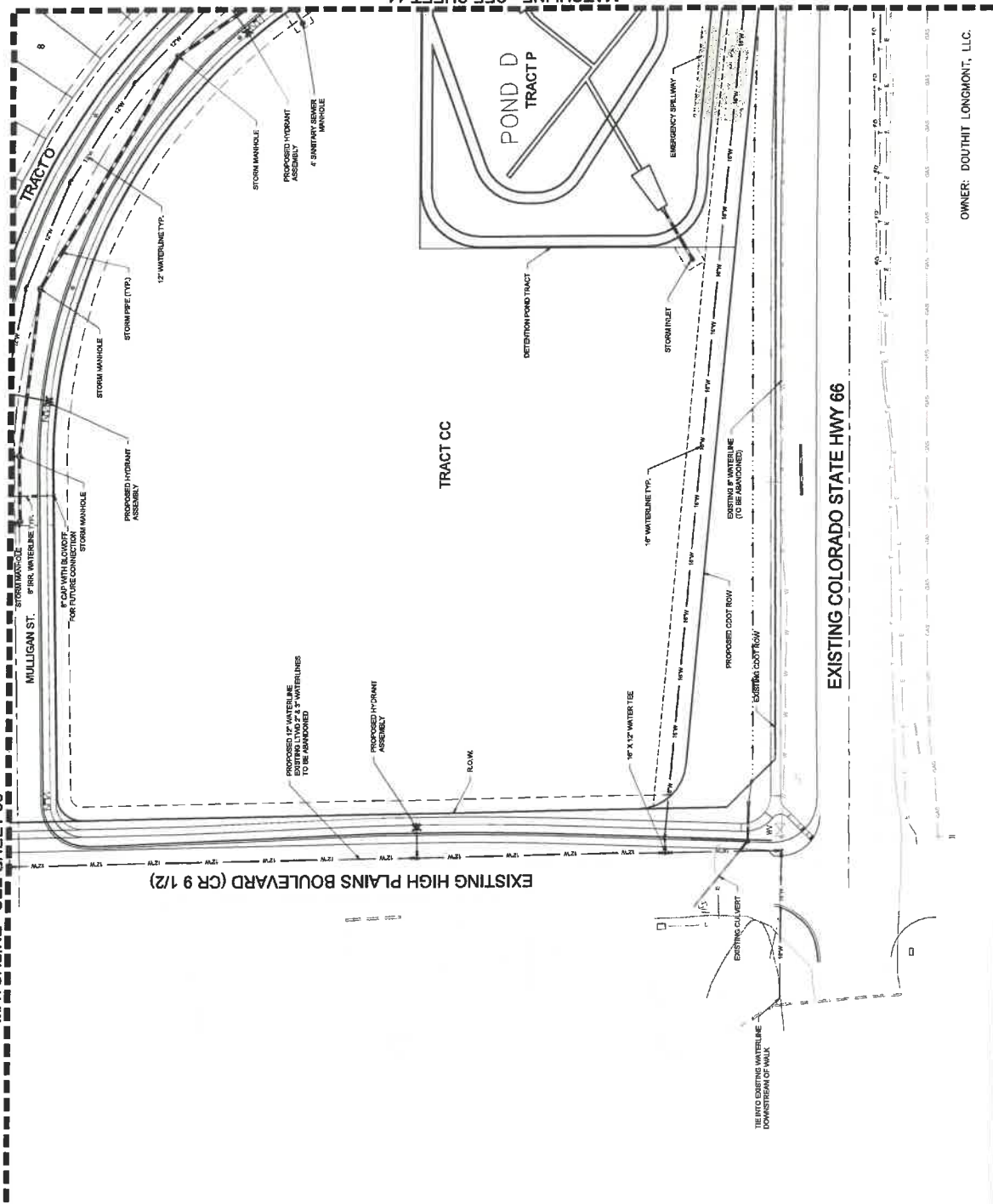
MATCHLINE - SEE SHEET 38

EXISTING HIGH PLAINS BOULEVARD (CR 9 1/2)



UTILITY LEGEND

- PROPOSED 8" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 12" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 16" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 18" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 24" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 30" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 36" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 42" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 48" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 54" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 60" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 66" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 72" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 78" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 84" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 90" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 96" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 102" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 108" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 114" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 120" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 126" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 132" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 138" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 144" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 150" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 156" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 162" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 168" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 174" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 180" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 186" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 192" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 198" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 204" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 210" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 216" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 222" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 228" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 234" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 240" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 246" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 252" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 258" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 264" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 270" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 276" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 282" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 288" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 294" WATERLINE UNLESS OTHERWISE NOTED
- PROPOSED 300" WATERLINE UNLESS OTHERWISE NOTED



MATCHLINE - SEE SHEET 44

EXISTING COLORADO STATE HWY 66

OWNER: DOUTHIT LONGMONT, LLC.

DATE: APR 2022	SCALE: AS SHOWN	DRAWN BY: [Redacted]	PROJECT NO: [Redacted]	FILE NO: [Redacted]	DATE: APR 2022
MEADOW RIDGE SUBDIVISION PRELIMINARY AREA UTILITY PLAN			CRR HOLDING COMPANY, LLC 1288 S CLAYTON ST DENVER, CO 80210		
WESTWOOD PROFESSIONAL SERVICES, PLLC 1035 S CRY CREEK RD ENGLEWOOD, CO 80122 TEL: 720.882.9928			WESTWOOD PROFESSIONAL SERVICES, PLLC 1035 S CRY CREEK RD ENGLEWOOD, CO 80122 TEL: 720.882.9928		

43 SHEET NUMBER
CALL 811
BEFORE YOU DIG
UNLESS
INDICATED
OTHERWISE
1-800-922-1967

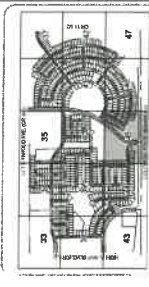
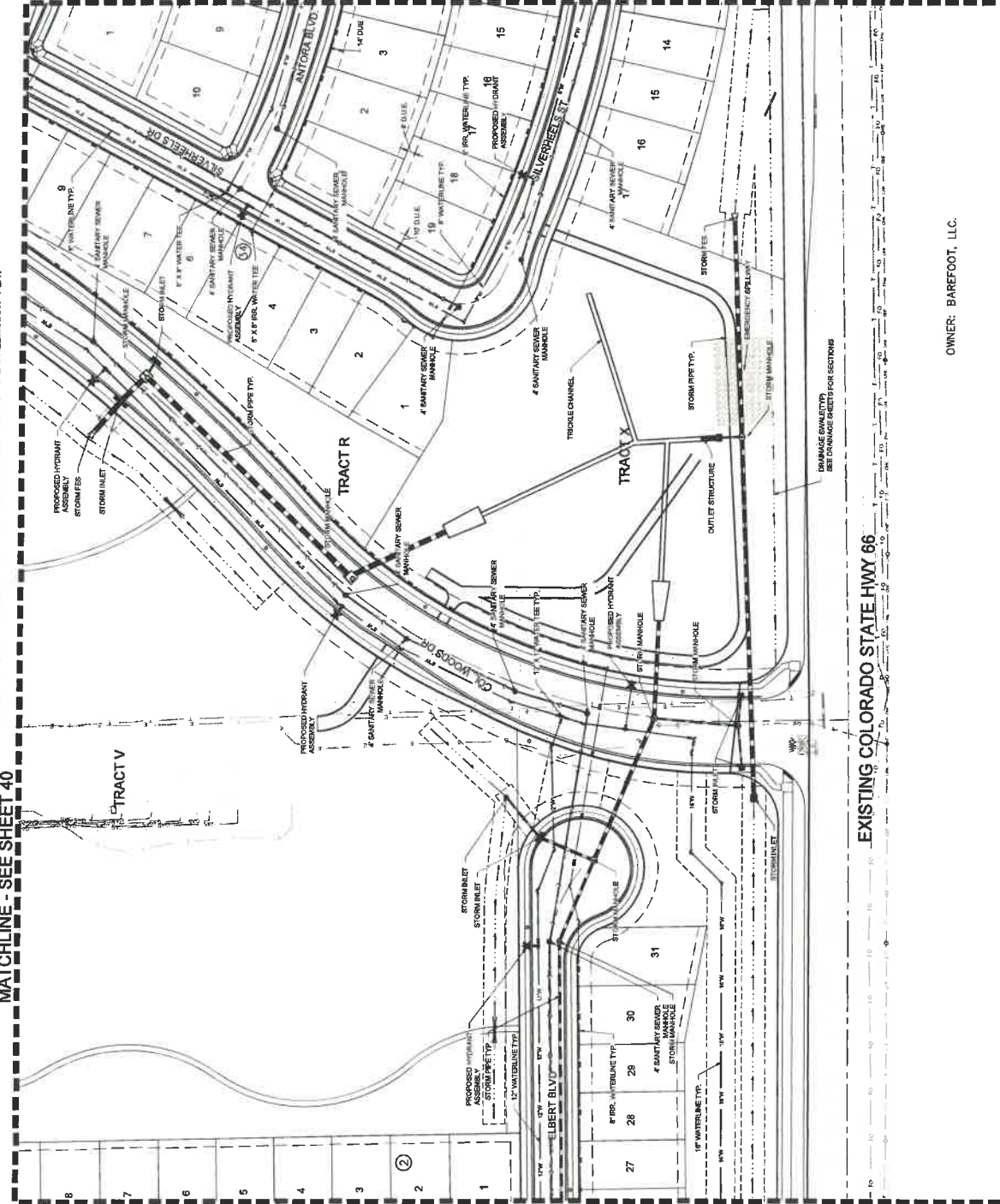
MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

A PART OF SECTIONS 23 AND 24,
TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 8TH P.M., TOWN OF MEAD
COUNTY OF WELD, STATE OF COLORADO, AS FULLY DESCRIBED IN THE PRELIMINARY PLAT

MATCHLINE - SEE SHEET 40

MATCHLINE - SEE SHEET 44

MATCHLINE - SEE SHEET 46



- UTILITY LEGEND**
- PROPOSED 12" WATERLINE
 - PROPOSED 12" WATERLINE NOTED OTHERWISE
 - PROPOSED 8" WATERLINE
 - PROPOSED 4" WATERLINE
 - PROPOSED 6" SANITARY
 - PROPOSED 4" SANITARY UNLESS OTHERWISE NOTED
 - CERTIFICATE RIGHT-OF-WAY
 - PROPERTY LINE
 - PROPOSED REGULATION
 - PROPOSED STORM DRAIN WITH MANHOLE
 - PROPOSED FIRE HYDRANT ASSEMBLY
 - PROPOSED CAP W/ FLOW OFF
 - PROPOSED AIR RELEASE VALVE
 - PROPOSED 12" DRAIN
 - PROPOSED STORM INLET

Westwood Professional Services, Inc.
1298 S CLAYTON ST
DENVER, CO 80210
TEL: 720.442.9926
NO. 2118
FILE NO. 29360
DATE: APR. 2022

MEADOW RIDGE SUBDIVISION
PRELIMINARY AREA UTILITY PLAN

CNR HOLDING COMPANY, LLC
1298 S CLAYTON ST
DENVER, CO 80210

AS SHOWN
CHECKED BY: [Signature]
SCALE: [Blank]

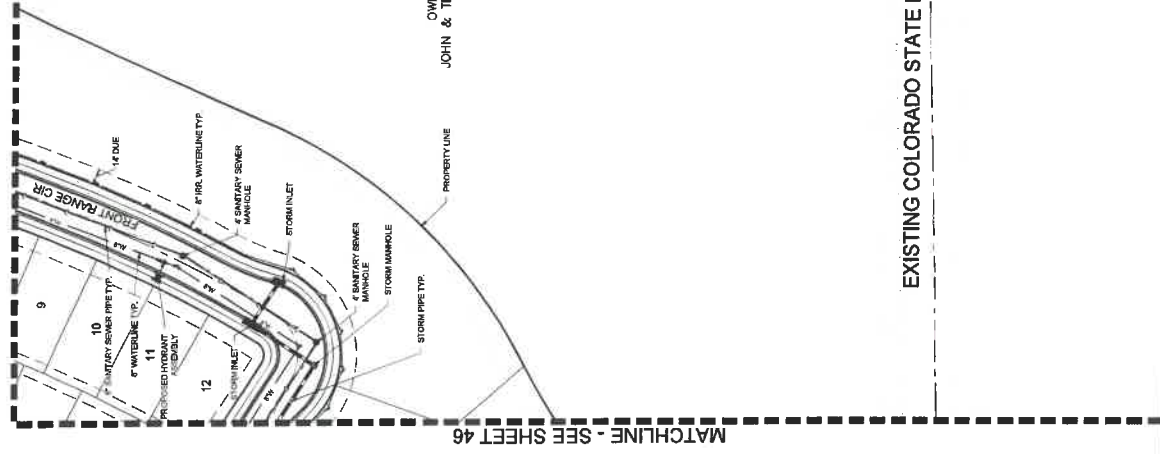
PROGRAM BY: [Blank]
SHEET NUMBER: 45

CALL 811
BEFORE YOU DIG
UNITE
1-800-922-1887

OWNER: BAREFOOT, LLC.

MEADOW RIDGE SUBDIVISION SKETCH PLAN/ PRELIMINARY PLAT

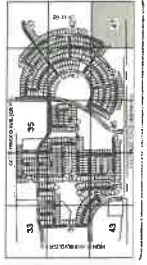
TOWNSHIP 3 NORTH, RANGE 66 WEST, 10TH PRINCIPAL MERIDIAN, SECTION 35, T13N R10W E10S, P13, TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO AS FULLY DESCRIBED IN THE PRELIMINARY PLAT
MATCHLINE - SEE SHEET 42



OWNERS:
JOHN & TERRI SNYDER

EXISTING CR 11 1/2

EXISTING COLORADO STATE HWY 66



UTILITY LEGEND

- PROPOSED 6\"/>

Westwood Westwood.com Westwood Professional Services, Inc. ENGLEWOOD, CO 80112 10333 S DRY CREEK RD. SUITE 210 TEL: 720.482.8528		CMR HOLDING COMPANY, LLC 1288 S CLAYTON ST DENVER, CO 80218	MEADOW RIDGE SUBDIVISION PRELIMINARY AREA UTILITY PLAN	DRAWN BY: AS SHOWN DATE: APR. 2017 FILE NO: 29360 SCALE:	SHEET NUMBER 47
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CALL 811
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UNCC
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