

**TOWN OF MEAD, COLORADO
ORDINANCE NO. 1038**

**AN ORDINANCE OF THE TOWN OF MEAD, COLORADO,
APPROVING WITH CONDITIONS THE CLUB CARWASH SITE PLAN**

WHEREAS, the Town of Mead is authorized to regulate the use and development of land within its jurisdiction, pursuant to Title 31, Article 23, C.R.S., Title 29, Article 20, C.R.S. and the Town’s Land Use Code, codified in Chapter 16 of the *Mead Municipal Code* (the “MMC”); and

WHEREAS, CLUB CAR WASH MEAD, LLC, a Delaware limited liability company (the “Applicant”), has submitted to the Town a land use application for a site plan designated as the CLUB CARWASH SITE PLAN, attached hereto and incorporated as EXHIBIT 1 of this Ordinance (the “Site Plan”); and

WHEREAS, the Site Plan application concerns certain property generally located south of State Highway 66 and west of Interstate 25, as more particularly described in the Site Plan (the “Property”); and

WHEREAS, Applicant is the contract purchaser of the Property and authorized representative of QUIKTRIP CORPORATION, an Oklahoma corporation, the fee owner of the Property; and

WHEREAS, the Applicant desires to construct a carwash facility together with certain public improvements including the construction of a regional trail, sidewalk, drainage improvements, landscaping and fencing improvements, and other improvements as shown on the Site Plan; and

WHEREAS, in accordance with Section 16-4-100(b)(8) of the MMC, Town staff has conditionally approved the Site Plan; and

WHEREAS, Section 16-4-100(b)(9) of the MMC requires that the Site Plan be presented to the Board of Trustees for its adoption by ordinance; and

WHEREAS, the Town Board of Trustees has reviewed the Site Plan and has determined that the Site Plan satisfies the site plan review criteria set forth in the MMC; and

WHEREAS, the administrative record for this case includes, but is not limited to, the MMC, the Town of Mead Comprehensive Plan, all other applicable ordinances, resolutions and regulations, the staff report/agenda item summary presented to the Board of Trustees, the Site Plan application and all other submittals of the Owner and Applicant, the Site Plan, and the recording and minutes of the Board of Trustees meeting at which the Site Plan was considered; and

WHEREAS, the Town Board of Trustees desires to conditionally approve the Site Plan.

NOW THEREFORE, BE IT ORDAINED by the Board of Trustees of the Town of Mead, Weld County, Colorado, that:

Section 1. Recitals incorporated. The foregoing recitals are incorporated herein as findings of the Board of Trustees.

Section 2. Site Plan Approval. The Site Plan is approved subject to the following conditions:

a. The Owner/Applicant will submit all post-approval documents required by Section 16-4-100 of the MMC prior to the issuance of a building permit; and

b. The Owner/Applicant shall resolve and correct any technical issues as directed by Town Staff prior to signature of Town officials on the Site Plan; and

c. The Applicant shall pay all fees and cost incurred by the Town and its consultants in reviewing and processing the Site Plan application; and

d. Approval of the Site Plan is contingent on and shall not be effective until approval of the Mead Crossings Amendment 2 administrative replat of Lots 1A and 1B, Mead Crossings.

Section 3. The Mayor is hereby authorized to sign the Site Plan on behalf of the Town, and the Town Clerk is hereby authorized to attest the signature of the Mayor on the Site Plan.

Section 4. The CLUB CARWASH Site Plan Agreement (SPA) is hereby approved, in substantially the form presently on file with the Town Clerk. The Town Manager and Town Attorney are authorized to make non-material changes to the SPA that do not materially increase the Town's obligations. The Town Manager shall be authorized to execute the SPA on behalf of the Town once the SPA has been finalized.

Section 5. Effective Date. This ordinance shall be published and become effective as provided by law.

Section 6. Severability. If any part, section, subsection, sentence, clause or phrase of this ordinance is for any reason held to be invalid, such invalidity shall not affect the validity of the remaining sections of the Ordinance. The Board of Trustees hereby declares that it would have passed the ordinance including each part, section, subsection, sentence, clause or phrase thereof, irrespective of the fact that one or more part, section, subsection, sentence, clause or phrase is declared invalid.

Section 7. Repealer. All ordinances or resolutions, or parts thereof, in conflict with this ordinance are hereby repealed, provided that such repealer shall not repeal the repealer clauses of such ordinance nor revive any ordinance thereby.

Section 8. Certification. The Town Clerk shall certify to the passage of this ordinance and make not less than one copy of the ordinance available for inspection by the public during regular business hours.

INTRODUCED, READ, PASSED, AND ADOPTED THIS 12TH DAY OF JUNE 2023.

ATTEST:

By: 
Mary E. Strutt, MMC, Town Clerk



TOWN OF MEAD

By: 
Colleen G. Whitlow, Mayor

EXHIBIT 1
CLUB CARWASH SITE PLAN

[Exhibit attached.]

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CLUB CARWASH SITE PLAN
LOT B, MEAD CROSSINGS AMENDMENT 2
CLUB CARWASH
S.H. 66 & FOSTER RIDGE DR.
MEAD, COLORADO

#	Date	Issue / Description
1	12/03/2011	Initial Approval
2	03/08/2012	Revised Approval
3	03/08/2012	Final Approval

Project No:	COMB0000
Drawn by:	AKP
Checked by:	AKP
Date:	11/27/2011

COVER SHEET

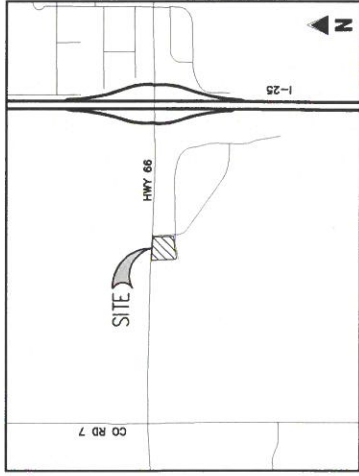
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CLUB CARWASH SITE PLAN

LOT B, MEAD CROSSINGS AMENDMENT 2

LOCATED IN THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 3 NORTH,
RANGE 68 WEST OF THE 6TH P.M., TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO
S.H. 66 & FOSTER RIDGE DR.



SHEET INDEX

SHEET NO.	SHEET TITLE
010	COVER SHEET
011	GENERAL NOTES
012	SITE PLAN
013	SITE DETAILS
014	FOUNDING PLAN
015	FOUNDING DETAILS
016	FOUNDATION PLAN - INITIAL
017	FOUNDATION PLAN - RETAIL
018	FOUNDATION PLAN - RETAIL
019	FOUNDATION PLAN - RETAIL
020	FOUNDATION PLAN - RETAIL
021	UTILITY PLAN
022	PHOTOMETRIC PLAN
023	STORM DRAIN PLAN & PROFILE LINE #1
024	STORM DRAIN PLAN & PROFILE LINE #2
025	POND DETAIL
026	LANDSCAPE PLAN
027	LANDSCAPE DETAILS
028	PRE-DEVELOPMENT DRAINAGE PLAN
029	POST-DEVELOPMENT DRAINAGE PLAN

UTILITY PLAN
POST-DEVELOPMENT

PROJECT CONTACTS

PROPERTY OWNER/DEVELOPER	CLUB CARWASH DEVELOPMENT 1075 1/2 W. WASHINGTON ROAD Boulder, CO 80502 CONTACT: JASON HERRICK
ARCHITECT	CLUB CARWASH ARCHITECT 1875 S. W. 11TH AVE., SUITE 100 DENVER, CO 80202 CONTACT: JEFFREY BIRDAK
CIVIL ENGINEER	GALLOWAY & COMPANY, INC. 1875 S. W. 11TH AVE., SUITE 100 DENVER, CO 80202 CONTACT: JOHN GALLOWAY
LANDSCAPE ARCHITECT	GALLOWAY & COMPANY, INC. 1875 S. W. 11TH AVE., SUITE 100 DENVER, CO 80202 CONTACT: JOHN GALLOWAY
STRUCTURAL ENGINEER	GALLOWAY & COMPANY, INC. 1875 S. W. 11TH AVE., SUITE 100 DENVER, CO 80202 CONTACT: JOHN GALLOWAY
MATERIALS ENGINEER	GALLOWAY & COMPANY, INC. 1875 S. W. 11TH AVE., SUITE 100 DENVER, CO 80202 CONTACT: JOHN GALLOWAY
MECHANICAL ENGINEER	GALLOWAY & COMPANY, INC. 1875 S. W. 11TH AVE., SUITE 100 DENVER, CO 80202 CONTACT: JOHN GALLOWAY
ELECTRICAL ENGINEER	GALLOWAY & COMPANY, INC. 1875 S. W. 11TH AVE., SUITE 100 DENVER, CO 80202 CONTACT: JOHN GALLOWAY
PLUMBING ENGINEER	GALLOWAY & COMPANY, INC. 1875 S. W. 11TH AVE., SUITE 100 DENVER, CO 80202 CONTACT: JOHN GALLOWAY

LEGAL DESCRIPTION

THE PROPERTY SHOWN HEREON (HEREIN) IS DESCRIBED AS FOLLOWS:

SECTION 27, TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M., TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO.

THE PROPERTY SHOWN HEREON IS BOUND BY THE FOLLOWING: NORTHERLY BY THE WEST LINE OF SECTION 27, EASTERLY BY THE EAST LINE OF SECTION 27, SOUTHERLY BY THE SOUTHERLY CORNER OF SECTION 27, AND WESTERLY BY THE WEST LINE OF SECTION 27.

PERMITS AND APPROVALS

THIS PROJECT HAS OBTAINED THE FOLLOWING PERMITS AND APPROVALS:

- PRELIMINARY SITE PLAN APPROVAL - DATE: 12/03/2011
- FINAL SITE PLAN APPROVAL - DATE: 03/08/2012
- FINAL CONSTRUCTION PERMIT - DATE: 03/08/2012

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LIST OF ABBREVIATIONS

- ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET
- ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED
- ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED
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FLOOD PREVENTION

THE PROPERTY SHOWN HEREON IS NOT IN A FLOOD HAZARD AREA.

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GENERATE OF OWNERSHIP

THE UNDERSIGNED IS THE OWNER OF CERTAIN LOTS IN MEAD, COLORADO, DESCRIBED AS FOLLOWS:

LOT B, MEAD CROSSINGS AMENDMENT 2

AND DOES HEREBY LAY OUT AND ESTABLISH THE SITE PLAN OF THE ABOVE DESCRIBED LAND (HEREIN) IN ACCORDANCE WITH THE PROVISIONS OF THE COLORADO SUBDIVISION MAP ACT AND THE LOCAL ORDINANCES OF THE TOWN OF MEAD, COLORADO. THIS SITE PLAN IS SUBJECT TO THE APPROVAL OF THE BOARD OF TRUSTEES OF THE TOWN OF MEAD, COLORADO, AND THE BOARD OF SUPERVISORS OF THE COUNTY OF WELD, COLORADO. THE UNDERSIGNED HEREBY CERTIFIES THAT THE SITE PLAN IS ACCURATE AND CORRECTLY REPRESENTS THE ACTUAL CONDITIONS ON THE GROUND. THE UNDERSIGNED HEREBY CERTIFIES THAT THE SITE PLAN IS ACCURATE AND CORRECTLY REPRESENTS THE ACTUAL CONDITIONS ON THE GROUND. THE UNDERSIGNED HEREBY CERTIFIES THAT THE SITE PLAN IS ACCURATE AND CORRECTLY REPRESENTS THE ACTUAL CONDITIONS ON THE GROUND.

GENERATE OF APPROVAL BY THE BOARD OF TRUSTEES

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CONTRACTOR'S OBLIGATIONS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF MEAD, COLORADO, AND THE COUNTY OF WELD, COLORADO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF MEAD, COLORADO, AND THE COUNTY OF WELD, COLORADO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF MEAD, COLORADO, AND THE COUNTY OF WELD, COLORADO.

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PRELIMINARY
 NOT FOR CONSTRUCTION



CLUB CARWASH SITE PLAN
 LOT B, MEAD CROSSINGS AMENDMENT 2
 CLUB CARWASH
 S.H. 66 & FOSTER RIDGE DR.
 MEAD, COLORADO

#	Date	Revised / Description
1	7/20/2023	2nd Working Submittal
2	10/20/2023	1st Review Submittal
3	12/29/2023	1st Review Submittal

Project No: COM-2023-0001
 Drawn By: [Name]
 Checked By: [Name]
 Date: [Date]

SITE PLAN

C1.1
 8/23

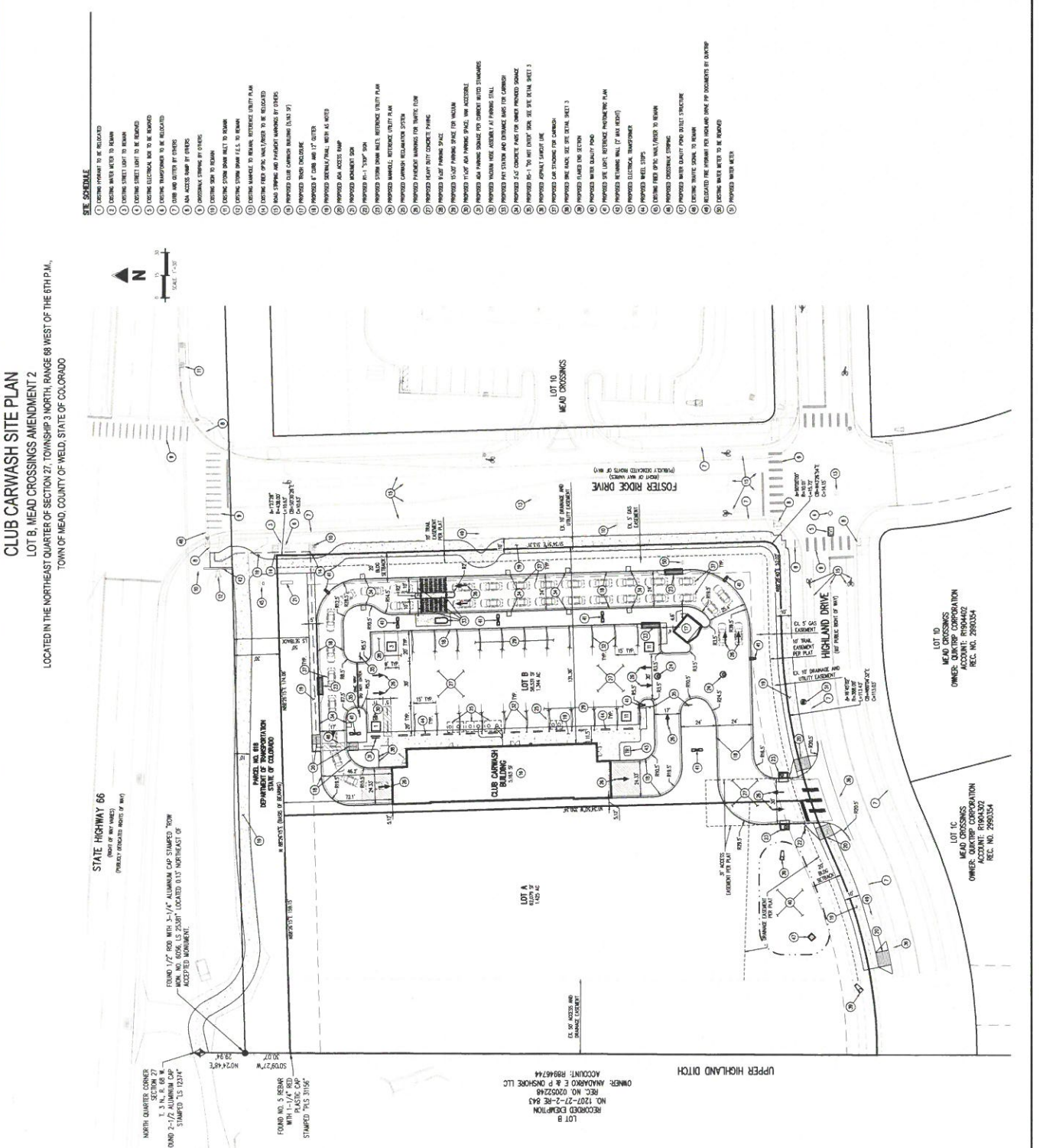
- SITE LEGEND**
- 1. PROPOSED PARKING LOT
 - 2. EXISTING PARKING LOT
 - 3. PROPOSED DRIVEWAY
 - 4. EXISTING DRIVEWAY
 - 5. PROPOSED SIDEWALK
 - 6. EXISTING SIDEWALK
 - 7. PROPOSED STREET LIGHT
 - 8. EXISTING STREET LIGHT
 - 9. PROPOSED ELECTRICAL POLE
 - 10. EXISTING ELECTRICAL POLE
 - 11. PROPOSED SIGN
 - 12. EXISTING SIGN
 - 13. PROPOSED FENCE
 - 14. EXISTING FENCE
 - 15. PROPOSED UTILITY
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 - 17. PROPOSED TREE
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 - 50. EXISTING BIKE STORAGE

- CONTRACTOR RESPONSIBILITIES**
- 1. VERIFY ALL EXISTING UTILITIES ARE PROTECTED AND MARKED PRIOR TO CONSTRUCTION.
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 - 31. VERIFY ALL EXISTING UTILITIES ARE PROTECTED AND MARKED PRIOR TO CONSTRUCTION.
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 - 49. VERIFY ALL EXISTING UTILITIES ARE PROTECTED AND MARKED PRIOR TO CONSTRUCTION.
 - 50. VERIFY ALL EXISTING UTILITIES ARE PROTECTED AND MARKED PRIOR TO CONSTRUCTION.

BENCHMARK
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 BENCHMARK - 10 23P

NOTES
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF RECORDS AND TO PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF RECORDS AND TO PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF RECORDS AND TO PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF RECORDS AND TO PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF RECORDS AND TO PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.

CAUTION - NOTICE TO CONTRACTOR
 1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY UNEXPECTED UTILITIES SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.



CLUB CARWASH SITE PLAN
 LOT B, MEAD CROSSINGS AMENDMENT 2
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



STATE HIGHWAY 66
 (PORTION OF NEW VARIOUS)
 (FORMERLY DESIGNATED RIGHTS OF WAY)

FOUND 1/2" ROD WITH 1/4" ALUMINUM CAP STAMPED "TOM"
 MON. NO. 6096, L.S. 25.807' LOCATED 0.13' NORTHEAST OF
 ACCEPTED MONUMENT.

FOUND NO. 5 IRON
 PLASTIC CAP
 WITH 1/4" ROD
 STAMPED "T.S. 3156"

FOUND NO. 5 IRON
 PLASTIC CAP
 WITH 1/4" ROD
 STAMPED "S09727"

FOUND NO. 5 IRON
 PLASTIC CAP
 WITH 1/4" ROD
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OWNER: ANTHONY E. & P. OSHORE, LLC
 REC. NO. 2950324
 N.O. 1207-27-2-RE 843

OWNER: ANTHONY E. & P. OSHORE, LLC
 REC. NO. 2950324
 N.O. 1207-27-2-RE 843

OWNER: ANTHONY E. & P. OSHORE, LLC
 REC. NO. 2950324
 N.O. 1207-27-2-RE 843

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 REC. NO. 2950324
 N.O. 1207-27-2-RE 843

OWNER: ANTHONY E. & P. OSHORE, LLC
 REC. NO. 2950324
 N.O. 1207-27-2-RE 843

RECORDED EXEMPTION
 UPPER HIGHLAND DITCH
 LOT 10
 MEAD CROSSINGS
 OWNER: ANTHONY E. & P. OSHORE, LLC
 REC. NO. 2950324

PRELIMINARY
NOT FOR CONSTRUCTION

CONTRIBUTOR'S RESPONSIBILITY: THE ENGINEER IS NOT TO BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS REPORT WITHOUT THE WRITTEN CONSENT OF GALLOWAY CONSTRUCTION. THE CONTRIBUTOR'S RESPONSIBILITY IS TO PROVIDE ACCURATE AND COMPLETE INFORMATION TO THE ENGINEER.



CLUB CARWASH SITE PLAN
LOT B, MEAD CROSSINGS AMENDMENT 2
S.H. 66 & FOSTER RIDGE DR.
MEAD, COLORADO

#	Date	Revised	Description
1.	11/25/2022	Initial	Site Plan
2.	01/03/2023	Revised	Site Plan
3.	01/25/2023	Revised	Site Plan

Project Name: _____
 Drawn By: _____
 Checked By: _____
 Date: _____

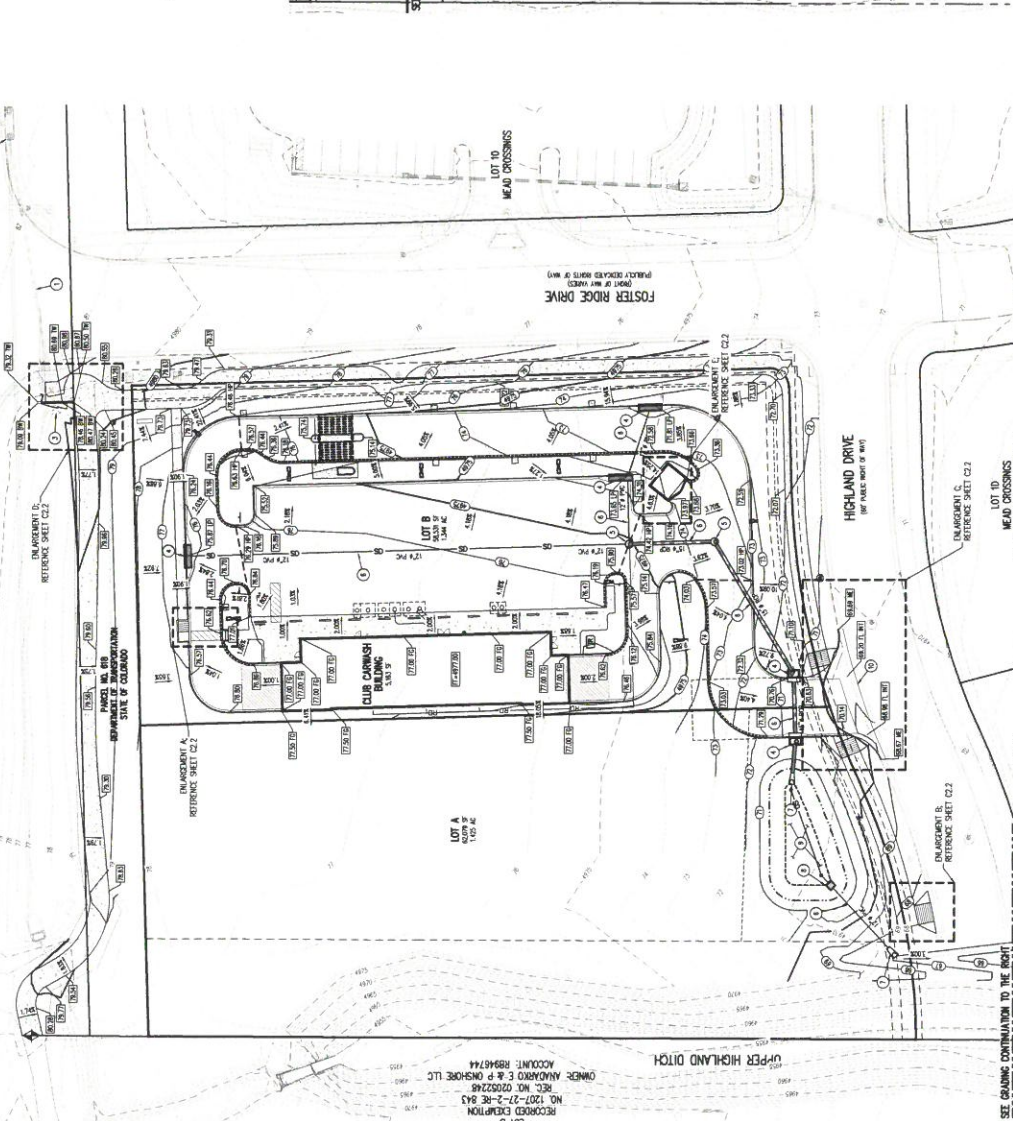
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6/23

CLUB CARWASH SITE PLAN
LOT B, MEAD CROSSINGS AMENDMENT 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

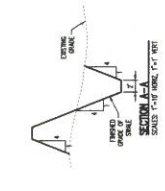
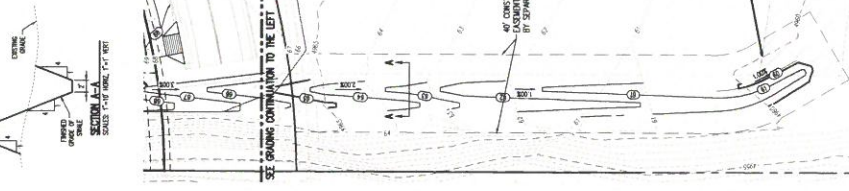
STATE HIGHWAY 66
 (DENSELY TRAVELLED ROUTE OF HIGHWAY)
 MEAD, COLORADO

FOSTER RIDGE DRIVE
 (PART OF MEAD AVENUE)
 (PUBLISHED RECORDS: 8031-2-1)



- SITE SCHEDULE
- 1. EXISTING STORM DRAIN USE TO REMAIN
 - 2. EXISTING STORM DRAIN RMT TO REMAIN
 - 3. EXISTING STORM DRAIN (11.5\"/>

- GRADING LEGEND
- | | |
|----------|--------------------------------------|
| [Symbol] | EXISTING GRADE |
| [Symbol] | PROPOSED MAJOR CONTOUR |
| [Symbol] | PROPOSED MINOR CONTOUR |
| [Symbol] | EXISTING STORM SLOPE (LESS THAN 1%) |
| [Symbol] | EXISTING STORM SLOPE (1% AND LARGER) |
| [Symbol] | PROPOSED STORM SLOPE (LESS THAN 1%) |
| [Symbol] | PROPOSED STORM SLOPE (1% AND LARGER) |



GRADING NOTES

1. ALL SPOT GRADES SHOWN ARE TO FINISH UNLESS OTHERWISE NOTED.
2. THE PROPOSED STORM SYSTEM AND STORMWATER RETENTION FACILITY SHALL BE DESIGNED TO COMPLY WITH THE CITY OF MEAD STANDARDS.

BENCHMARK

1. THE BENCHMARK IS TO BE SET AT THE CORNER OF THE BUILDING. IT SHALL BE A PERMANENT MARKER, AND ITS LOCATION IS TO BE NOTED ON THE CONSTRUCTION PLANS. IT SHALL BE SET TO THE ELEVATION OF 5300.00 (AS SHOWN ON THE PLANS). IT SHALL BE SET BY THE SURVEYOR AT THE TIME OF CONSTRUCTION.

BASIS OF BEARING

THE BEARING OF ALL LINES IS TO BE TAKEN AS BEING TRUE UNLESS OTHERWISE NOTED. THE BEARING OF ALL LINES IS TO BE TAKEN AS BEING TRUE UNLESS OTHERWISE NOTED.

SOIL PREPARATION AND PAVEMENT DESIGN NOTE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF SOIL PREPARATION AND PAVEMENT DESIGN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF SOIL PREPARATION AND PAVEMENT DESIGN.

CONSTRUCTION AND PAVEMENT DESIGN NOTE

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PRELIMINARY
 NOT FOR CONSTRUCTION

COPYRIGHT
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 HEREON ARE THE PROPERTY OF GALLOWAY AND
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 TRANSMITTED IN ANY FORM OR BY ANY
 MEANS, ELECTRONIC OR MECHANICAL,
 INCLUDING PHOTOCOPYING, RECORDING,
 OR BY ANY INFORMATION STORAGE AND
 RETRIEVAL SYSTEM, WITHOUT THE
 WRITTEN PERMISSION OF GALLOWAY.



CLUB CARWASH SITE PLAN
 LOT B, MEAD CROSSINGS AMENDMENT 2
 S.H. 66 & FOSTER RIDGE DR.
 MEAD, COLORADO

4. Date:	11/11/2022
5. Drawn by:	11/11/2022
6. Checked by:	11/11/2022
7. Approved by:	11/11/2022
8. Title:	11/11/2022
9. Scale:	11/11/2022
10. Project Name:	11/11/2022
11. Client:	11/11/2022
12. Location:	11/11/2022
13. Drawing No.:	11/11/2022
14. Revision:	11/11/2022
15. Date:	11/11/2022

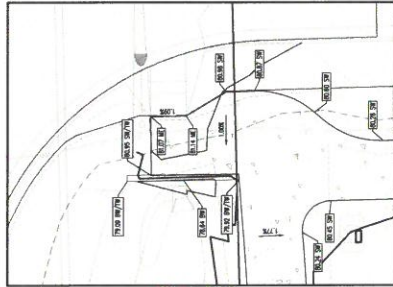
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Client:	11/11/2022
Location:	11/11/2022
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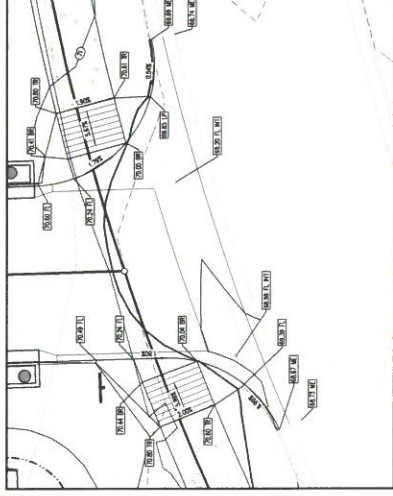
CLUB CARWASH SITE PLAN
 LOT B, MEAD CROSSINGS AMENDMENT 2
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

GRADING LEGEND

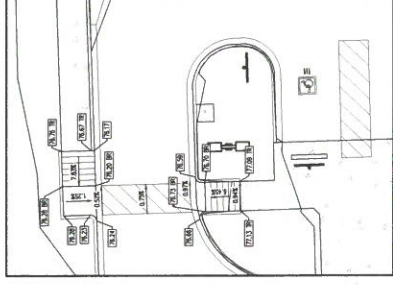
PROPOSED SPOT ELEVATION
PROPOSED FLOOR
LOW POINT
HIGH POINT
PROPOSED GRADE AT TOP OF WALL
PROPOSED GRADE AT BOTTOM OF WALL



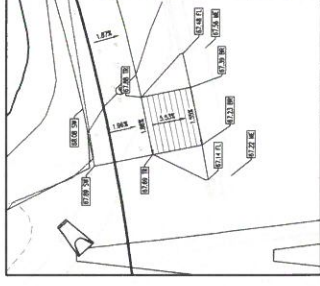
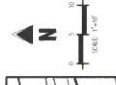
ENLARGEMENT A



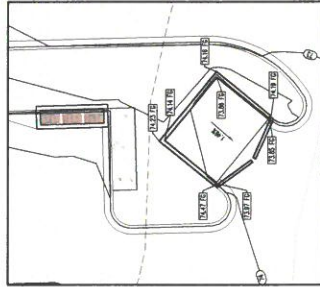
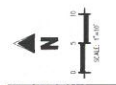
ENLARGEMENT B



ENLARGEMENT C



ENLARGEMENT D



ENLARGEMENT E

BEARINGS
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BASES OF BEARING
 BEARING ARE BASED ON THE EXISTING STATE PLANE COORDINATE SYSTEM, NORTH ZONE IN
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CONTRACTOR'S OBLIGATION
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION AND
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CLUB CARWASH SITE PLAN
 LOT B, MEAD CROSSINGS AMENDMENT 2
 S.H. 66 & FOSTER RIDGE DR.
 MEAD, COLORADO

#	Date	Revised Description
1	2/29/2024	Final Design
2	4/25/2024	Final Design
3	5/20/2024	Final Design

Project No:	240003
Drawn By:	MB
Checked By:	MB
Date:	11/16/2024

EROSION CONTROL PLAN - INITIAL

C3.1

of 23

CLUB CARWASH SITE PLAN
 LOT B, MEAD CROSSINGS AMENDMENT 2
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

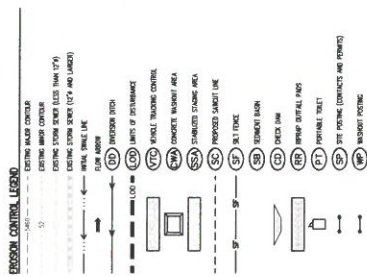
STATE HIGHWAY 66
 (PARTLY DEDICATED RIGHTS OF WAY)



BMP SEQUENCE

1. INITIAL CURB MESSAGES (INITIAL)
2. CURB AND SIDE WALK (INITIAL)
3. STORM DRAINLET CHAINING (INITIAL)
4. BODIED AND BOLL MESSAGES (INITIAL)
5. GRADE BACKING (NO POSTING)
6. FIVE GRADE MARKERS OF THE (INITIAL)
7. PRELIMINARY STAKEOUT (INITIAL)
8. 550 BOLL MESSAGE AND INITIAL PRELIMINARY STAKEOUT (INITIAL)
9. BOLL MESSAGE INITIAL STAKEOUT (INITIAL)

SWP MAINTENANCE NOTE:
 ALL EROSION AND SEDIMENT CONTROL PRACTICES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE SWP MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. PROPER SELECTION AND INSTALLATION OF BMP'S AND IMPLEMENTATION IN ACCORDANCE WITH THE SWP SHOULD BE ADEQUATE TO MEET THIS CONDITION. BMP'S THAT ARE NOT ADEQUATELY MAINTAINED IN ACCORDANCE WITH GOOD ENGINEERING PRACTICES, SHALL BE DEEMED AS DEFICIENT AND THE REMOVAL OF COLLECTED SEDIMENT OUTSIDE THE ACCEPTABLE TOLERANCES OF THE BMP'S, ARE CONSIDERED TO BE NO LONGER OPERATING EFFECTIVELY AND MUST BE ADDRESSSED.



NOTE:
 ALL EROSION AND SEDIMENT CONTROL PRACTICES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE SWP MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. PROPER SELECTION AND INSTALLATION OF BMP'S AND IMPLEMENTATION IN ACCORDANCE WITH THE SWP SHOULD BE ADEQUATE TO MEET THIS CONDITION. BMP'S THAT ARE NOT ADEQUATELY MAINTAINED IN ACCORDANCE WITH GOOD ENGINEERING PRACTICES, SHALL BE DEEMED AS DEFICIENT AND THE REMOVAL OF COLLECTED SEDIMENT OUTSIDE THE ACCEPTABLE TOLERANCES OF THE BMP'S, ARE CONSIDERED TO BE NO LONGER OPERATING EFFECTIVELY AND MUST BE ADDRESSSED.

EROSION CONTROL SUMMARY

TOTAL AREA APPROXIMATE: 97,041.52 (1.24 AC)

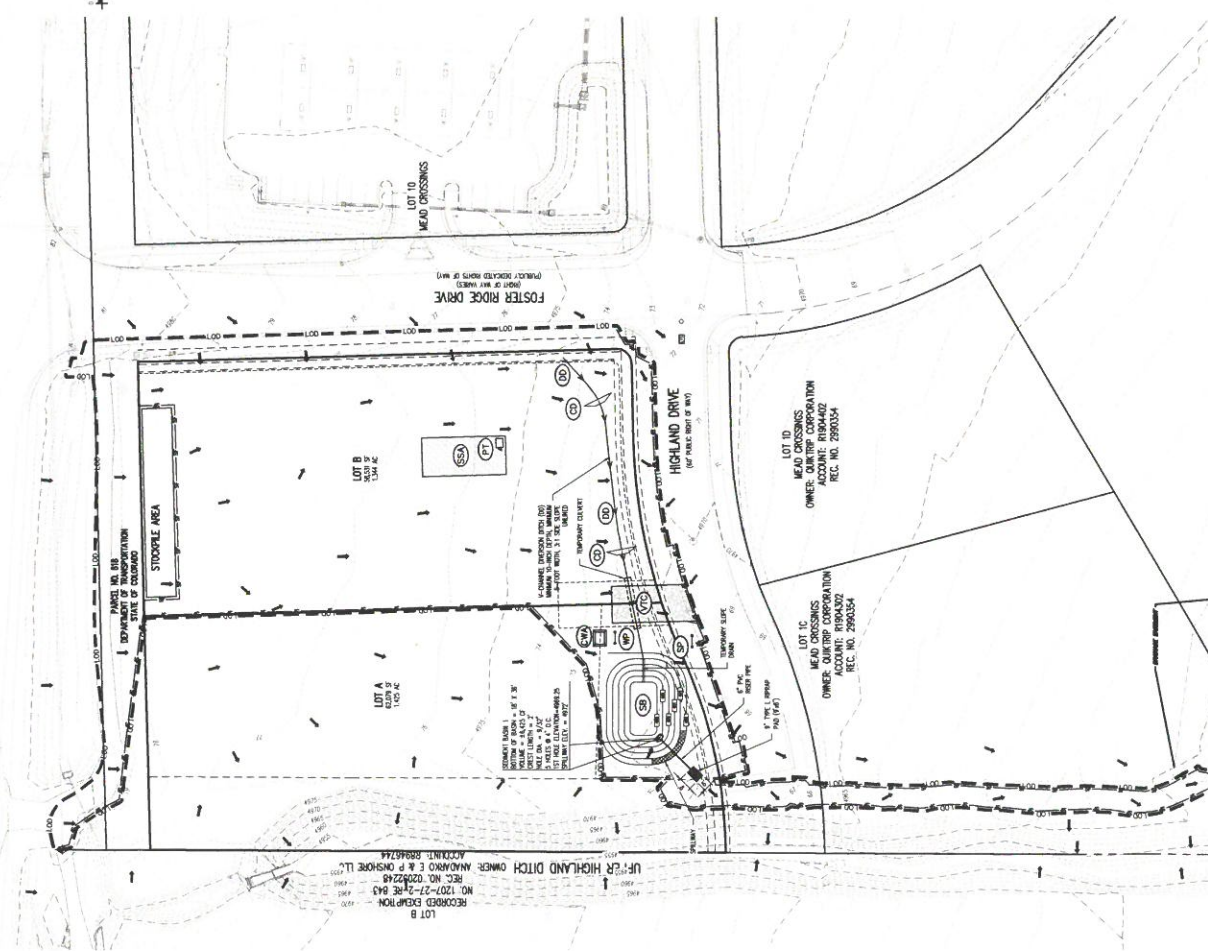
TOTAL AREA APPROXIMATE: 97,041.52 (1.24 AC)

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BENCHMARK
 BENCH MARK IS BASED ON BENCH MARK "11.507"
 BENCH MARK IS LOCATED AS SHOWN ON THE PLAN.
 BENCH MARK IS LOCATED AS SHOWN ON THE PLAN.

BASES OF BENCHMARKS
 ALL BENCHMARKS SHALL BE SET IN CONCRETE PILES AS SHOWN ON THE PLAN.
 ALL BENCHMARKS SHALL BE SET IN CONCRETE PILES AS SHOWN ON THE PLAN.

- EROSION CONTROL CONTRACTOR**
 THE EROSION CONTROL CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF BOLL MESSAGE AND MASONRY CURB. THE CONTRACTOR SHALL MAINTAIN THE BOLL MESSAGE AND MASONRY CURB IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF BOLL MESSAGE AND MASONRY CURB IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD.
- CAUTION - NOTICE TO CONTRACTOR**
 ALL EROSION CONTROL MEASURES AND BMP'S IDENTIFIED IN THIS SWP SHALL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF BOLL MESSAGE AND MASONRY CURB IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD.





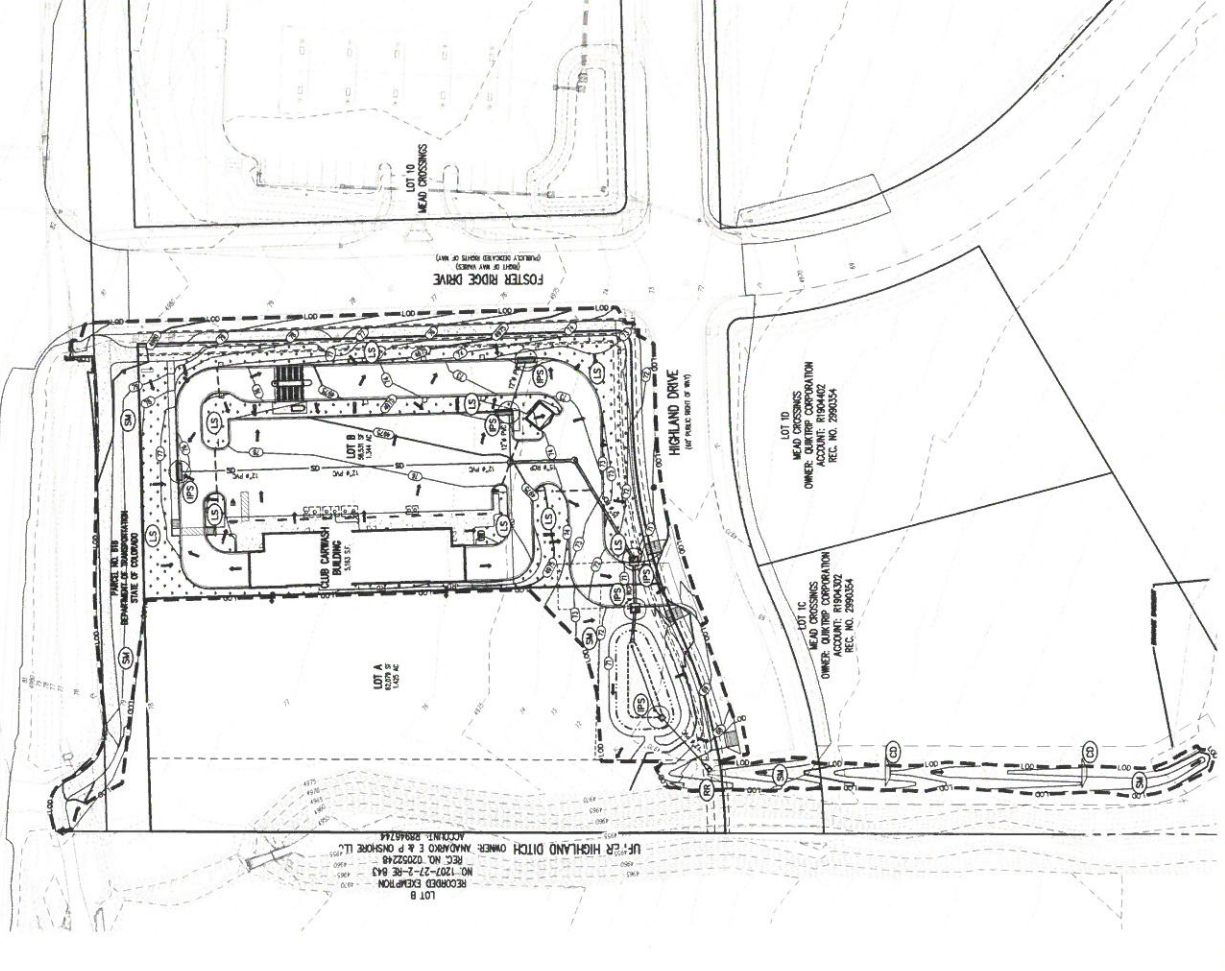
#	Date	Issue Description
1	05/20/23	Initial Issue
2	05/20/23	04/20/23 Meeting Minutes
3	05/20/23	04/20/23 Meeting Minutes

Revision	By	Date
1		
2		
3		

EROSION CONTROL PLAN - FINAL
C3.2
 4/23

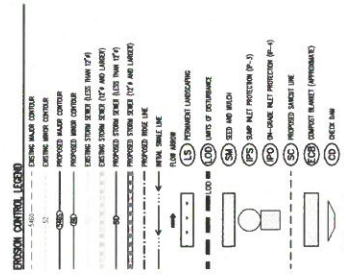
CLUB CARWASH SITE PLAN
 LOT B, MEAD CROSSINGS AMENDMENT 2
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

STATE HIGHWAY 66
 (PORTION OF HWY 66)
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- STORMWATER MANAGEMENT PLANS - GENERAL NOTES**
1. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION CONTROL MEASURES UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND ARE OPERATIONAL. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION CONTROL MEASURES UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND ARE OPERATIONAL.
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 7. APPROVED EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION CONTROL MEASURES UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND ARE OPERATIONAL.
 8. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION CONTROL MEASURES UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND ARE OPERATIONAL. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION CONTROL MEASURES UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND ARE OPERATIONAL.

SEMP MAINTENANCE NOTE:
 ALL EROSION AND SEDIMENT CONTROL PRACTICES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE SWMP MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION CONTROL MEASURES UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND ARE OPERATIONAL.



NOTES:
 THE PLAN SHALL BE SUBMITTED TO THE COUNTY OF WELD FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION CONTROL MEASURES UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND ARE OPERATIONAL.

BASES OF FINISH:
 FINISH GRADES SHALL BE AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION CONTROL MEASURES UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND ARE OPERATIONAL.

CONTRACTOR'S OBLIGATION:
 THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION CONTROL MEASURES UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND ARE OPERATIONAL. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION CONTROL MEASURES UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND ARE OPERATIONAL.

CAUTION - WORKER PROTECTION:
 ALL EXISTING EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION CONTROL MEASURES UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND ARE OPERATIONAL.

NOTICE TO CONTRACTORS:
 THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION CONTROL MEASURES UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND ARE OPERATIONAL. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION CONTROL MEASURES UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND ARE OPERATIONAL.

CLUB CARWASH SITE PLAN
 LOT B, MEAD CROSSINGS AMENDMENT 2
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

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CLUB CARWASH SITE PLAN
LOT B, MEAD CROSSINGS AMENDMENT 2
 S.H. 66 & FOSTER RIDGE DR.
 MEAD, COLORADO

#	Date	Revised / Description
1	03/20/22	2-Dimensional
2	03/20/22	3-Dimensional
3	03/20/22	CONSTRUCTION

Project No: C02000000
 Drawn By: M
 Checked By: M
 Date: 12/15/20
EROSION CONTROL PLAN
 DETAILS

Sheet	Section	Description	Scale	Notes
MM-1	Concrete Washout Area (CWA)	Concrete Washout Area (CWA)	1" = 10'-0"	November 2021
EC-12	Check Dams (CD)	Check Dams (CD)	1" = 10'-0"	November 2021
EC-11	Check Dams (CD)	Check Dams (CD)	1" = 10'-0"	November 2021
EC-12	Check Dams (CD)	Check Dams (CD)	1" = 10'-0"	November 2021
SC-6	Inlet Protection (IP)	Inlet Protection (IP)	1" = 10'-0"	August 2021
SC-4	Inlet Protection (IP)	Inlet Protection (IP)	1" = 10'-0"	August 2021
SC-4	Inlet Protection (IP)	Inlet Protection (IP)	1" = 10'-0"	August 2021
SC-4	Inlet Protection (IP)	Inlet Protection (IP)	1" = 10'-0"	August 2021
SC-7	Sediment Basin (SB)	Sediment Basin (SB)	1" = 10'-0"	August 2021
SC-7	Sediment Basin (SB)	Sediment Basin (SB)	1" = 10'-0"	August 2021
SC-7	Sediment Basin (SB)	Sediment Basin (SB)	1" = 10'-0"	August 2021
SC-1	Silt Fence (SF)	Silt Fence (SF)	1" = 10'-0"	August 2021
SC-1	Silt Fence (SF)	Silt Fence (SF)	1" = 10'-0"	August 2021
MM-1	Concrete Washout Area (CWA)	Concrete Washout Area (CWA)	1" = 10'-0"	November 2021
MM-1	Concrete Washout Area (CWA)	Concrete Washout Area (CWA)	1" = 10'-0"	November 2021

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CLUB CARWASH SITE PLAN
 LOT B, MEAD CROSSINGS AMENDMENT 2
 CLUB CARWASH
 S.H. 66 & FOSTER RIDGE DR.
 MEAD, COLORADO

#	Date	Description	By
1.	3/20/22	2nd Planning Meeting	JAC
2.	5/10/22	3rd Planning Meeting	JAC
3.	7/27/22	4th Planning Meeting	JAC

Project No: C0000008
 Drawn By: M
 Checked By: M
 Date: 11/17/22

EROSION CONTROL PLAN -
 DETAILS

CLUB CARWASH SITE PLAN
 LOT B, MEAD CROSSINGS AMENDMENT 2
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

EC-10 Earth Ditches and Drainage Swales (EDDS) EC-10

DES-1 SYNTHETIC LINER SWALE
 1. THE SWALE SHALL BE CONSTRUCTED WITH A SYNTHETIC LINER. THE LINER SHALL BE 3/16" THICK AND SHALL BE INSTALLED OVER A 4" LAYER OF SAND. THE SAND SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95% OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557. THE SAND SHALL BE 100% PASSING #40 SIEVE AND 0% PASSING #200 SIEVE.

DES-2 ASPHALT LINER SWALE
 1. THE SWALE SHALL BE CONSTRUCTED WITH AN ASPHALT LINER. THE LINER SHALL BE 1/2" THICK AND SHALL BE INSTALLED OVER A 4" LAYER OF SAND. THE SAND SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95% OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557. THE SAND SHALL BE 100% PASSING #40 SIEVE AND 0% PASSING #200 SIEVE.

DES-3 GEOTEXTILE LINER SWALE
 1. THE SWALE SHALL BE CONSTRUCTED WITH A GEOTEXTILE LINER. THE LINER SHALL BE 4 OZ PER SQUARE YARD AND SHALL BE INSTALLED OVER A 4" LAYER OF SAND. THE SAND SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95% OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557. THE SAND SHALL BE 100% PASSING #40 SIEVE AND 0% PASSING #200 SIEVE.

DES-4 CURB LINE SWALE
 1. THE SWALE SHALL BE CONSTRUCTED WITH A CURB LINE SWALE. THE CURB SHALL BE 12" HIGH AND SHALL BE INSTALLED OVER A 4" LAYER OF SAND. THE SAND SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95% OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557. THE SAND SHALL BE 100% PASSING #40 SIEVE AND 0% PASSING #200 SIEVE.

DES-5 ASPHALT LINER SWALE
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SM-4 Vehicle Tracking Control (VTC) SM-4

VTC-1 ASPHALT CURB TRACKING CONTROL WITH SECTION A
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CLUB CARWASH SITE PLAN

LOT B, MEAD CROSSINGS AMENDMENT 2

LOCATED IN THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



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CLUB CARWASH SITE PLAN

LOT B, MEAD CROSSINGS AMENDMENT 2

CLUB CARWASH
S.H. 66 & FOSTER RIDGE DR.
MEAD, COLORADO

No.	Name	Description	Date
1	J. P. Galloway	Prepared	11/11/2024
2	A. J. Galloway	Reviewed	11/11/2024
3	A. J. Galloway	Approved	11/11/2024

UTILITY PLAN	
Sheet No.	C4.1
Scale	AS SHOWN
City	MEAD
Date	11/11/2024

UTILITY LEGEND

—	PROPERTY BOUNDARY LINE
---	EXISTING EASEMENT LINE
---	PROPOSED EASEMENT LINE
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER (15" DIA. 15' DIA.)
---	PROPOSED STORM SEWER (15" DIA. 15' DIA.)
---	EXISTING STORM SEWER (18" DIA. 18' DIA.)
---	PROPOSED STORM SEWER (18" DIA. 18' DIA.)
---	EXISTING UNDERGROUND ELECTRICAL
---	PROPOSED UNDERGROUND ELECTRICAL
---	EXISTING UNDERGROUND TELEPHONE
---	PROPOSED UNDERGROUND TELEPHONE
---	EXISTING GAS LINE
---	PROPOSED GAS LINE
---	EXISTING UTILITY POLE OR TOWER
---	PROPOSED UTILITY POLE OR TOWER
---	EXISTING LIGHT POLE
---	PROPOSED LIGHT POLE
---	EXISTING SANITARY SEWER MANHOLE
---	PROPOSED SANITARY SEWER MANHOLE
---	EXISTING WATER MANHOLE
---	PROPOSED WATER MANHOLE
---	EXISTING STORM SEWER MANHOLE
---	PROPOSED STORM SEWER MANHOLE
---	EXISTING UNDERGROUND ELECTRICAL
---	PROPOSED UNDERGROUND ELECTRICAL
---	EXISTING UNDERGROUND TELEPHONE
---	PROPOSED UNDERGROUND TELEPHONE
---	EXISTING GAS LINE
---	PROPOSED GAS LINE

NOTES

- ALL UTILITIES ARE SHOWN AS LOCATED ON THE DATE OF THIS PLAN.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
- IF ANY UTILITIES ARE FOUND TO BE DELETED OR CHANGED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MEAD UTILITIES DEPARTMENT SPECIFICATIONS.
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE COLORADO PLUMBING AND MECHANICAL CODES.
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA).
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL GAS CODE (NGC).
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL TELEPHONE AND TELEVISION DISTANCE PROTECTION CODE (NATTS).
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL UNDERGROUND UTILITIES CODE (NUGEC).
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC).
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL SAFETY CODE (NESC).
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL SAFETY CODE (NESC).
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL SAFETY CODE (NESC).

REVISIONS

No.	Description
1	ISSUED FOR PERMITTING
2	REVISED TO SHOW CHANGES TO THE SITE PLAN
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REVISIONS

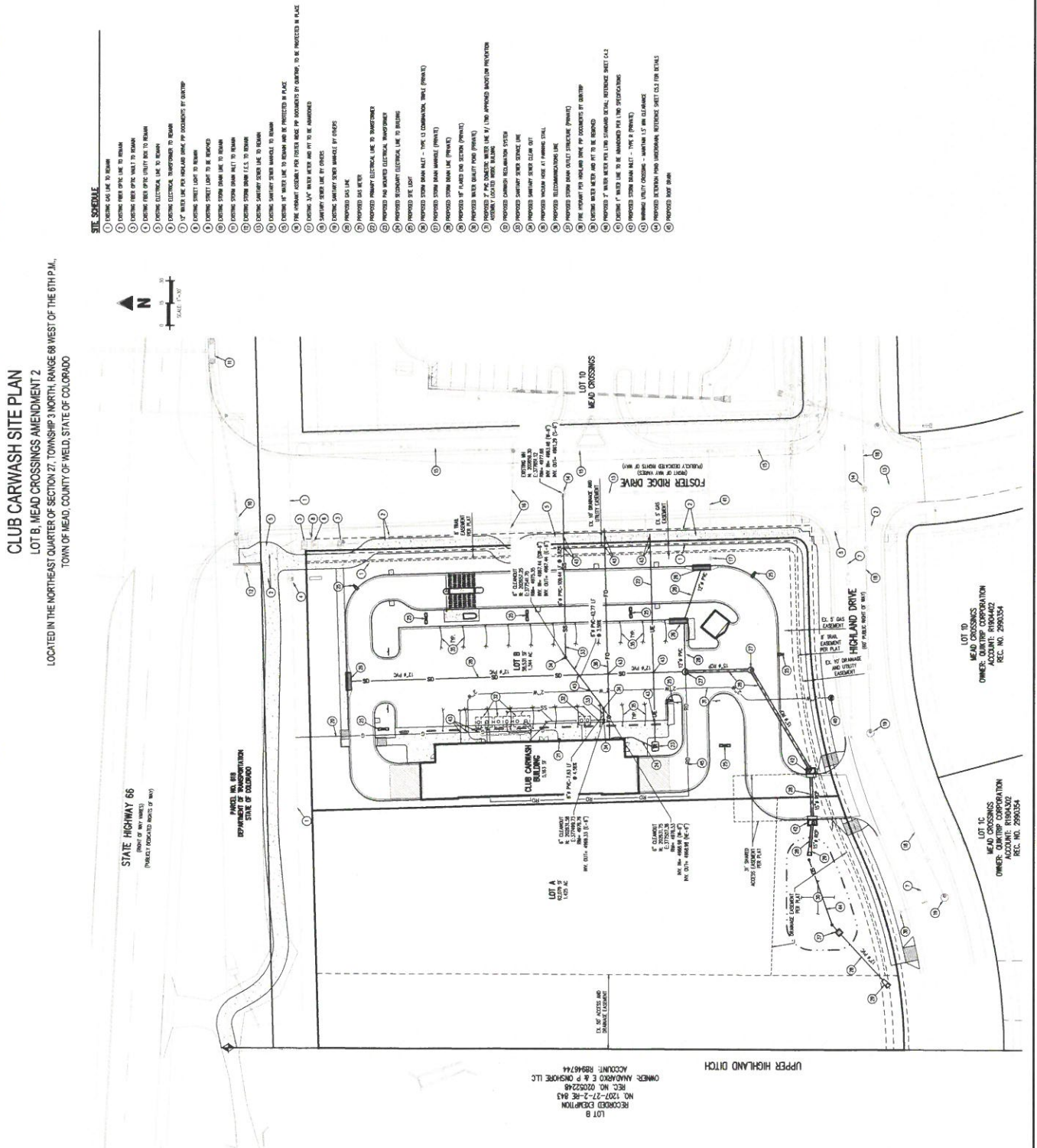
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OWNER: ANANDKO E & P ONSHORE LLC
REC. NO. 20232248
NO. 1207-07-2-RE 843
RECORDED & RETURNED

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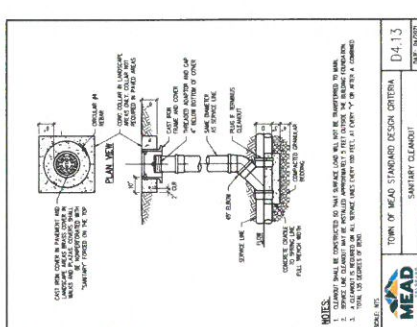
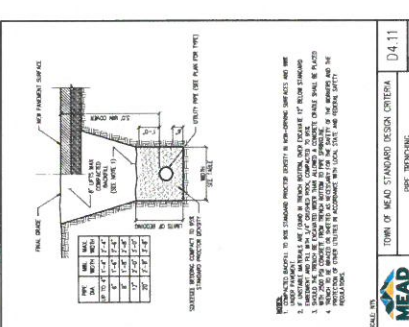
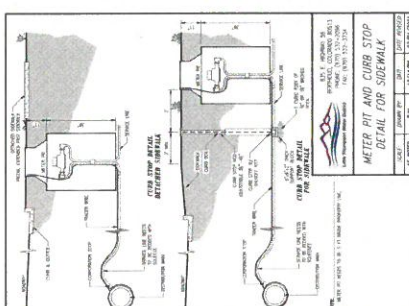
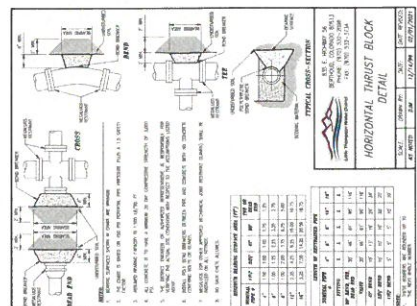
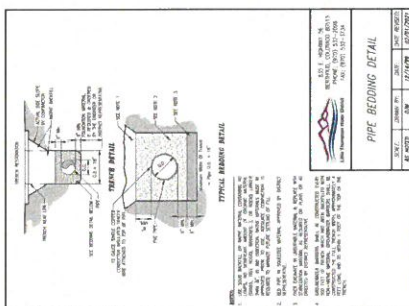
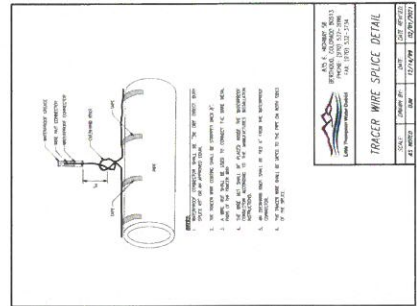
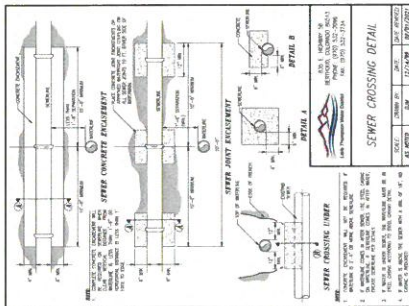
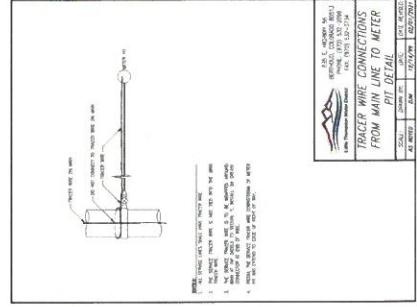
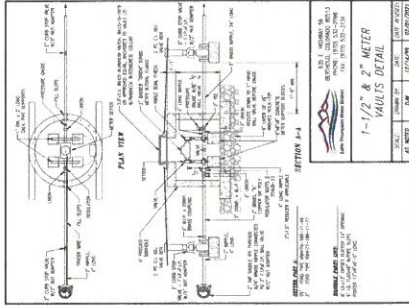
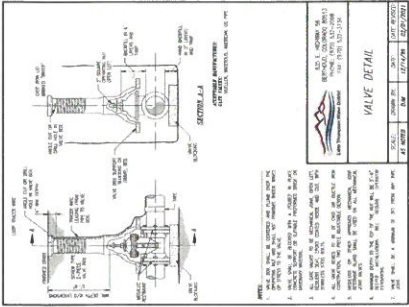
CLUB CARWASH SITE PLAN
LOT B, MEAD CROSSINGS AMENDMENT 2
CLUB CARWASH
 S.H. 66 & FOSTER RIDGE DR.
 MEAD, COLORADO

#	Date	Revised Description	By	Checked
1	12/20/21	Final Design	MEAD	MEAD
2	01/20/22	Revised Design	MEAD	MEAD
3	02/22/22	Final Design	MEAD	MEAD

Project No: CCM000000
 Drawn By: R00
 Checked By:
 Date: 12/20/21

UTILITY DETAILS
C4.2
 0/23

CLUB CARWASH SITE PLAN
 LOT B, MEAD CROSSINGS AMENDMENT 2
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 8TH P.M.,
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



TOWN OF MEAD STANDARD DESIGN CRITERIA
 PIPE BROWNING
 D4-11
 DATE: 02/20/21

TOWN OF MEAD STANDARD DESIGN CRITERIA
 PIPE BROWNING
 D4-11
 DATE: 02/20/21

TOWN OF MEAD STANDARD DESIGN CRITERIA
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TOWN OF MEAD STANDARD DESIGN CRITERIA
 PIPE BROWNING
 D4-11
 DATE: 02/20/21

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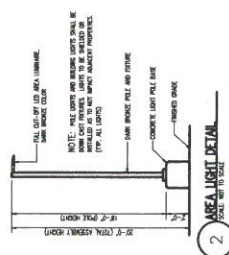
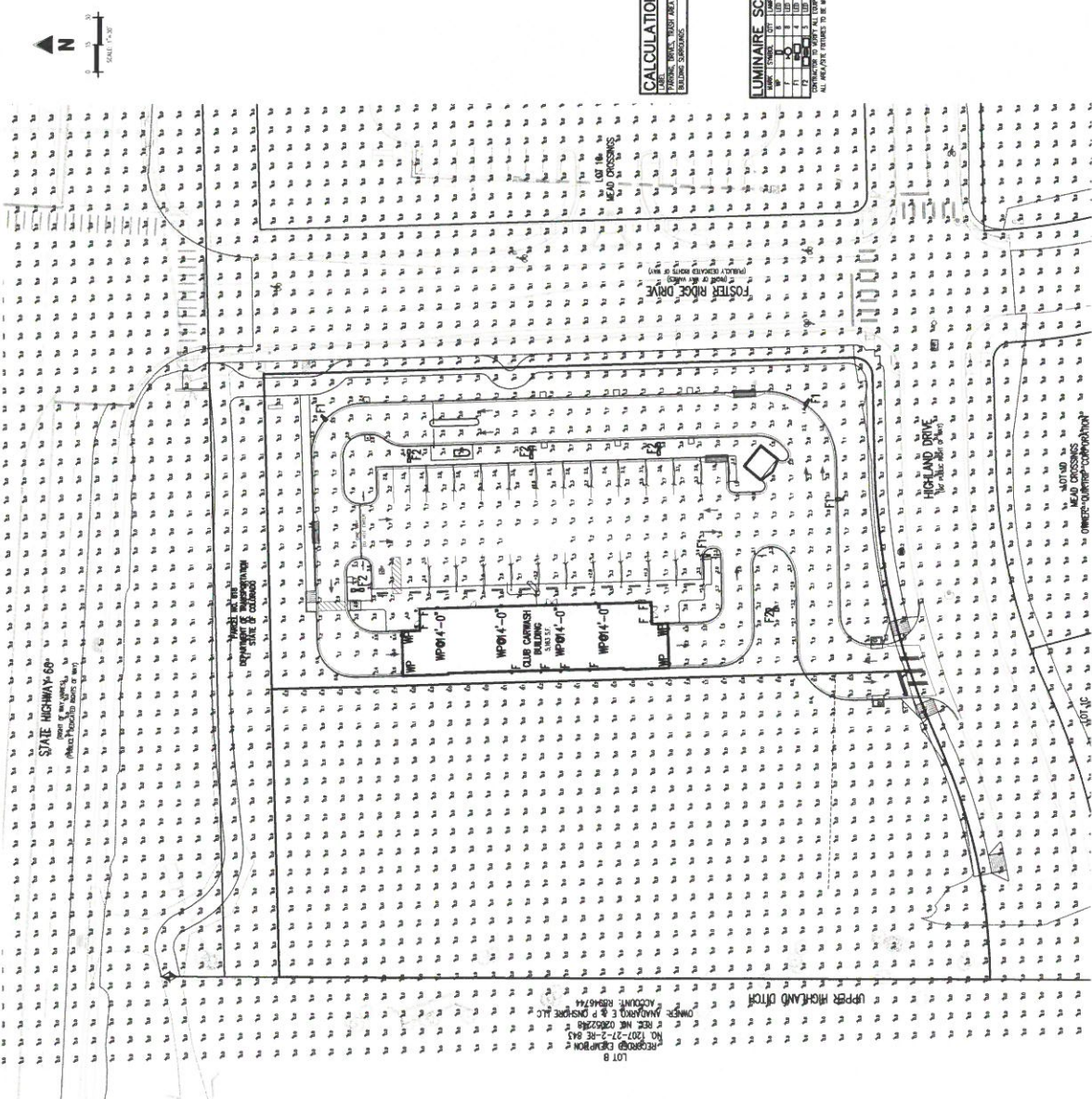
CLUB CARWASH SITE PLAN
LOT B, MEAD CROSSINGS AMENDMENT 2
 S.H. 66 & FOSTER RIDGE DR.
 MEAD, COLORADO

#	DATE	DESCRIPTION
1	11/20/2023	PRELIMINARY SUBMITTAL
2	01/23/2024	PER CITY COMMENTS
3	02/02/2024	PER CITY COMMENTS

Prepared By: JMK
 Checked By: JMK
 Date: 01/23/2024
PHOTOMETRIC PLAN

C4.3
 C4.3

CLUB CARWASH SITE PLAN
 LOT B, MEAD CROSSINGS AMENDMENT 2
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



CALCULATION SUMMARY

TYPE	AREA (SQ FT)	FOOT-CANDLES (FC)
PARKING	2,231	8.4
TRUCKS	1,317	6.8
BUILDING SHADOWS		1.1

LUMINAIRE SCHEDULE

TYPE	AREA (SQ FT)	FOOT-CANDLES (FC)	NUMBER OF FIXTURES	SPACING (FT)
PARKING	2,231	8.4	25	29.5
TRUCKS	1,317	6.8	15	29.5
BUILDING SHADOWS		1.1		

1 PHOTOMETRIC SITE PLAN
 SCALE: 1/8" = 1'-0"

CLUB CARWASH SITE PLAN
 LOT B, MEAD CROSSINGS AMENDMENT 2
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

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CLUB CARWASH SITE PLAN
LOT B, MEAD CROSSINGS AMENDMENT 2
 CLUB CARWASH
 S.H. 66 & FOSTER RIDGE DR.
 MEAD, COLORADO

#	Date	Issue / Description	By	Checked
1	10/20/2023	Final Design	JAG	JAG
2	10/20/2023	Final Design	JAG	JAG
3	10/20/2023	Final Design	JAG	JAG

Project No: CO-2023009
 Drawn By: JAG
 Checked By: JAG
 Date: 10/20/2023

C4.4
 of 23

4" LED Cylinder Up & Downlight

4426 120V

Ordering Information: 800.297.8050 | www.mcgrawedison.com

Model	Dimensions (H x W x D)	Wattage	Beam Angle	Color Temp.	Color Rendering Index (CRI)
4426	10 1/4" x 4 1/4" x 4 1/4"	17W	120°	5000K	90
4426	10 1/4" x 4 1/4" x 4 1/4"	17W	120°	4000K	90
4426	10 1/4" x 4 1/4" x 4 1/4"	27W	120°	5000K	90
4426	10 1/4" x 4 1/4" x 4 1/4"	27W	120°	4000K	90

DESCRIPTION
 The Outdoor LED Cylinder Family features wet location rated and mountable cylinders with down light and up beam light for an outdoor space. Features 100% dimming down to 1%, up to 150° beam angle, 90 CRI, and 5000K color temperature for color rendering and extended lifetime.

Construction
 • Anodized die cast with powder coat finish
 • 100% Dimmable AC compatible with DDB
 • UL94 V-0 fire rating
 • 100% recyclable
 • Color rendering index (CRI) 90
 • 100% dimming down to 1%
 • 150° beam angle
 • 5000K color temperature
 • 100% recyclable
 • 100% dimming down to 1%
 • 150° beam angle
 • 5000K color temperature

Finish
 • Black, brushed aluminum, or oil-rubbed bronze
 • Custom finishes available
 • 100% recyclable
 • 100% dimming down to 1%
 • 150° beam angle
 • 5000K color temperature

Mounting
 • Easy surface mounting for simple installation using
 • 1/4" hole saw bit
 • 1/4" hole saw bit
 • 1/4" hole saw bit

LEDs
 • High quality, high performance LEDs with 50,000 hour life expectancy
 • 100% recyclable
 • 100% dimming down to 1%
 • 150° beam angle
 • 5000K color temperature

4" LED Cylinder Up & Downlight

4426 120V

Ordering Information: 800.297.8050 | www.mcgrawedison.com

Model	Dimensions (H x W x D)	Wattage	Beam Angle	Color Temp.	Color Rendering Index (CRI)
4426	10 1/4" x 4 1/4" x 4 1/4"	17W	120°	5000K	90
4426	10 1/4" x 4 1/4" x 4 1/4"	17W	120°	4000K	90
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DESCRIPTION
 The Outdoor LED Cylinder Family features wet location rated and mountable cylinders with down light and up beam light for an outdoor space. Features 100% dimming down to 1%, up to 150° beam angle, 90 CRI, and 5000K color temperature for color rendering and extended lifetime.

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 • UL94 V-0 fire rating
 • 100% recyclable
 • Color rendering index (CRI) 90
 • 100% dimming down to 1%
 • 150° beam angle
 • 5000K color temperature

Finish
 • Black, brushed aluminum, or oil-rubbed bronze
 • Custom finishes available
 • 100% recyclable
 • 100% dimming down to 1%
 • 150° beam angle
 • 5000K color temperature

Mounting
 • Easy surface mounting for simple installation using
 • 1/4" hole saw bit
 • 1/4" hole saw bit
 • 1/4" hole saw bit

LEDs
 • High quality, high performance LEDs with 50,000 hour life expectancy
 • 100% recyclable
 • 100% dimming down to 1%
 • 150° beam angle
 • 5000K color temperature

McGraw-Edison

GALN Galison II

Ordering Information: 800.297.8050 | www.mcgrawedison.com

Area / Size Luminaire
 • 100% Dimmable
 • 100% Recyclable
 • 100% Energy Efficient
 • 100% Green Building
 • 100% Sustainable

Product Features
 • 100% Dimmable
 • 100% Recyclable
 • 100% Energy Efficient
 • 100% Green Building
 • 100% Sustainable

Product Certifications
 • UL94 V-0
 • ENEC
 • CE
 • RoHS
 • REACH

Connected Systems
 • 100% Dimmable
 • 100% Recyclable
 • 100% Energy Efficient
 • 100% Green Building
 • 100% Sustainable

Mounting Details
 • Easy surface mounting for simple installation using
 • 1/4" hole saw bit
 • 1/4" hole saw bit
 • 1/4" hole saw bit

LEDs
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 • 100% recyclable
 • 100% dimming down to 1%
 • 150° beam angle
 • 5000K color temperature

McGraw-Edison

GALN Galison II

Ordering Information: 800.297.8050 | www.mcgrawedison.com

Area / Size Luminaire
 • 100% Dimmable
 • 100% Recyclable
 • 100% Energy Efficient
 • 100% Green Building
 • 100% Sustainable

Product Features
 • 100% Dimmable
 • 100% Recyclable
 • 100% Energy Efficient
 • 100% Green Building
 • 100% Sustainable

Product Certifications
 • UL94 V-0
 • ENEC
 • CE
 • RoHS
 • REACH

Connected Systems
 • 100% Dimmable
 • 100% Recyclable
 • 100% Energy Efficient
 • 100% Green Building
 • 100% Sustainable

Mounting Details
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 • 1/4" hole saw bit
 • 1/4" hole saw bit

LEDs
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 • 100% recyclable
 • 100% dimming down to 1%
 • 150° beam angle
 • 5000K color temperature

McGraw-Edison
 1000 Sherman Blvd., Suite 200
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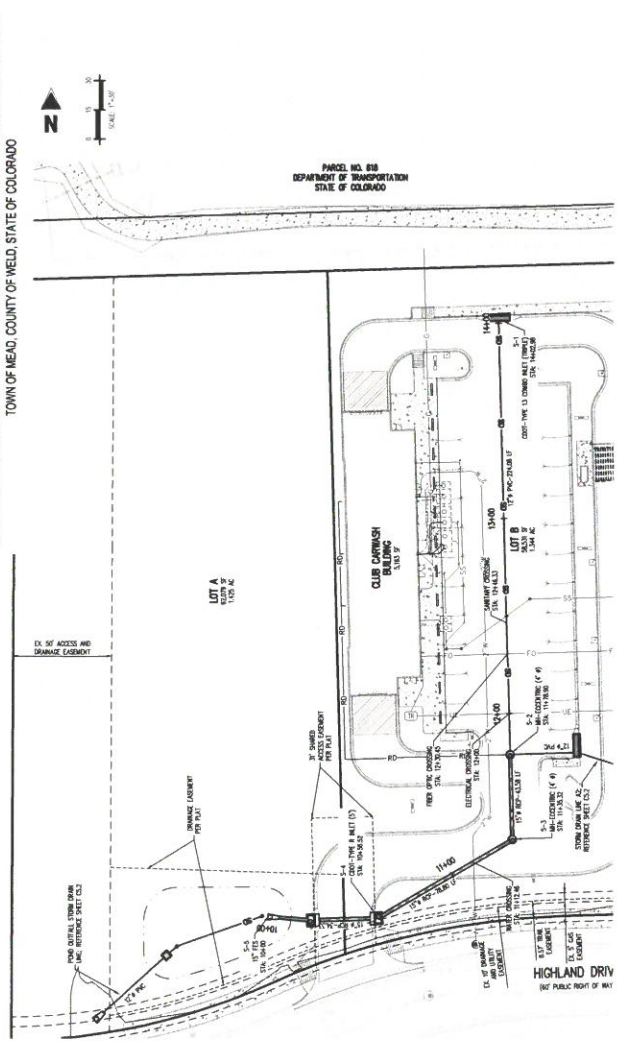
LOT B, MEAD CROSSINGS AMENDMENT 2
CLUB CARWASH SITE PLAN
S.H. 66 & COSTER RIDGE DR.
MEAD, COLORADO

No.	Date	Revised/Added/Deleted
1	11/20/2020	Final Plan
2	12/02/2020	Plan Revisions
3	03/09/2021	Plan Revisions

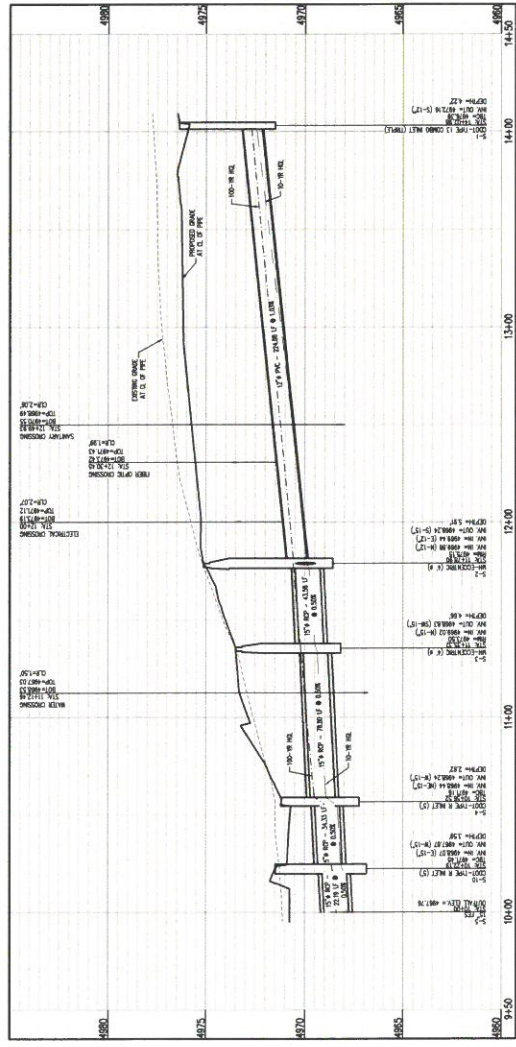
Sheets: 1 of 1
Scale: As Shown

C5.1
#23

CLUB CARWASH SITE PLAN
LOT B, MEAD CROSSINGS AMENDMENT 2
LOCATED IN THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



STORM DRAIN PROFILE: LINE A1 - STA. 10+00.00 TO 14+00.00



STORM DRAIN PROFILE: LINE A1 - STA. 10+00.00 TO 14+00.00

UTILITY LEGEND

---	PROPOSED PROPERTY BOUNDARY LINE
---	EXISTING PROPERTY BOUNDARY LINE
---	PROPOSED EASEMENT LINE
---	EXISTING EASEMENT LINE
---	PROPOSED WALK LINE
---	EXISTING WALK LINE
---	PROPOSED DRIVE LINE
---	EXISTING DRIVE LINE
---	PROPOSED STORM SEWER (12" DIA. LAMP)
---	EXISTING STORM SEWER (12" DIA. LAMP)
---	PROPOSED STORM SEWER (18" DIA. LAMP)
---	EXISTING STORM SEWER (18" DIA. LAMP)
---	PROPOSED UNDERGROUND ELECTRICAL
---	EXISTING UNDERGROUND ELECTRICAL
---	PROPOSED UNDERGROUND TELEPHONE
---	EXISTING UNDERGROUND TELEPHONE
---	PROPOSED GAS LINE
---	EXISTING GAS LINE
---	EXISTING UTILITY MARK ON WALL
---	EXISTING ELECTRICAL TRANSFORMER
---	EXISTING LIGHT POLE
---	PROPOSED 30" LIGHTING
---	EXISTING 30" LIGHTING
---	PROPOSED 30" SIGN MOUNTABLE
---	EXISTING 30" SIGN MOUNTABLE
---	PROPOSED STORM SEWER BELT
---	EXISTING STORM SEWER BELT
---	EXISTING FLOW AND SEWER (12")
---	EXISTING WATER MAIN
---	EXISTING WATER WALK
---	EXISTING FIRE HYDRANT
---	PROPOSED STORM MANHOLE
---	EXISTING STORM MANHOLE
---	PROPOSED STORM MANHOLE
---	EXISTING STORM MANHOLE
---	PROPOSED STORM SEWER EGRESS
---	EXISTING STORM SEWER EGRESS
---	PROPOSED STORM SEWER OUTLET STRUCTURE
---	EXISTING STORM SEWER OUTLET STRUCTURE

NOTE
1. ALL ELEVATIONS ARE BASED ON THE BENCHMARK "N 20" IN THE NE CORNER OF THE PARCEL TO BE SITED. ALL ELEVATIONS ARE BASED ON THIS BENCHMARK "N 20".
2. ALL HORIZONTAL DISTANCES ARE IN FEET.
3. ALL DIMENSIONS ARE IN FEET AND INCHES (1" = 12").
4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
5. ALL DIMENSIONS ARE TO CENTER UNLESS NOTED OTHERWISE.
6. ALL DIMENSIONS ARE TO OUTLINE UNLESS NOTED OTHERWISE.
7. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.

BENCHMARK
THE BENCHMARK IS A 4" DIA. IRON ROD, 1" DIA. STAINLESS STEEL ROD, OR 1" DIA. GALV. IRON PIPE, SET IN CONCRETE FOOTING. THE BENCHMARK IS TO BE PROTECTED AND MAINTAINED AT ALL TIMES.

BASES OF FINISH
ALL FINISH ELEVATIONS ARE TO BE BASED ON THE FINISH GRADE UNLESS NOTED OTHERWISE. FINISH GRADE IS TO BE THE HIGHEST OF THE FOLLOWING:
1. FINISH GRADE AS SHOWN ON THIS PLAN.
2. FINISH GRADE AS SHOWN ON ANY SURVEY RECORDS.
3. FINISH GRADE AS SHOWN ON ANY RECORDS OF THE LOCAL GOVERNMENT.
4. FINISH GRADE AS SHOWN ON ANY RECORDS OF THE STATE OF COLORADO.

GENERAL NOTES
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL UTILITIES AND EASEMENTS AND SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL UTILITIES AND EASEMENTS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL UTILITIES AND EASEMENTS AND SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL UTILITIES AND EASEMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL UTILITIES AND EASEMENTS AND SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL UTILITIES AND EASEMENTS.

CONTRACTOR SHALL PROTECT ALL EXISTING UTILITY AND EASEMENT LOCATIONS AND SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL UTILITIES AND EASEMENTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL UTILITIES AND EASEMENTS AND SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL UTILITIES AND EASEMENTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL UTILITIES AND EASEMENTS AND SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL UTILITIES AND EASEMENTS.

CAUTION - NOISE TO CONTRACTOR
1. ALL UTILITIES AND EASEMENTS SHALL BE PROTECTED AND MAINTAINED AT ALL TIMES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL UTILITIES AND EASEMENTS AND SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL UTILITIES AND EASEMENTS.



THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL UTILITIES AND EASEMENTS AND SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL UTILITIES AND EASEMENTS.

PRELIMINARY
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DATE: 11/11/2020
 DRAWN BY: JMM
 CHECKED BY: JMM
 DATE: 11/11/2020

PROJECT NO: 2000000000
 DRAWN BY: JMM
 CHECKED BY: JMM
 DATE: 11/11/2020

L1.1
 OF 2

CLUB CARWASH SITE PLAN

LOT B, MEAD CROSSINGS AMENDMENT 2
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

PLANT SCHEDULE ON SITE LANDSCAPE

SYMBOL	COMMON NAME	QUANTITY	SIZE	CONT.	HT.	SP.	WT.
(SYMBOL)	KENTUCKY COFFEE TREE LIMPIDIOLO	4	2" CAL	B&B	2' CAL	50' X 25'	LO
(SYMBOL)	QUEENSLAND GUM	10	2" CAL	B&B	2' CAL	45' X 15'	MC
(SYMBOL)	RED PINNACLES GUM	2	8" FT	B&B	8" FT	15' X 15'	LO
(SYMBOL)	SPRING BROOM	3	1.5" CAL	B&B	1.5" CAL	20' X 15'	LO
(SYMBOL)	SPRING BROOM	3	1.5" CAL	B&B	1.5" CAL	20' X 15'	LO
(SYMBOL)	SPRING BROOM	3	1.5" CAL	B&B	1.5" CAL	20' X 15'	LO

SYMBOL	COMMON NAME	QUANTITY	SIZE	CONT.	HT.	SP.	WT.
(SYMBOL)	WINDMILL PINE	2	2" CAL	B&B	2' CAL	50' X 25'	LO
(SYMBOL)	WINDMILL PINE	2	2" CAL	B&B	2' CAL	50' X 25'	LO

SYMBOL	COMMON NAME	QUANTITY	SIZE	CONT.	HT.	SP.	WT.
(SYMBOL)	WINDMILL PINE	2	2" CAL	B&B	2' CAL	50' X 25'	LO
(SYMBOL)	WINDMILL PINE	2	2" CAL	B&B	2' CAL	50' X 25'	LO

SYMBOL	COMMON NAME	QUANTITY	SIZE	CONT.	HT.	SP.	WT.
(SYMBOL)	WINDMILL PINE	2	2" CAL	B&B	2' CAL	50' X 25'	LO
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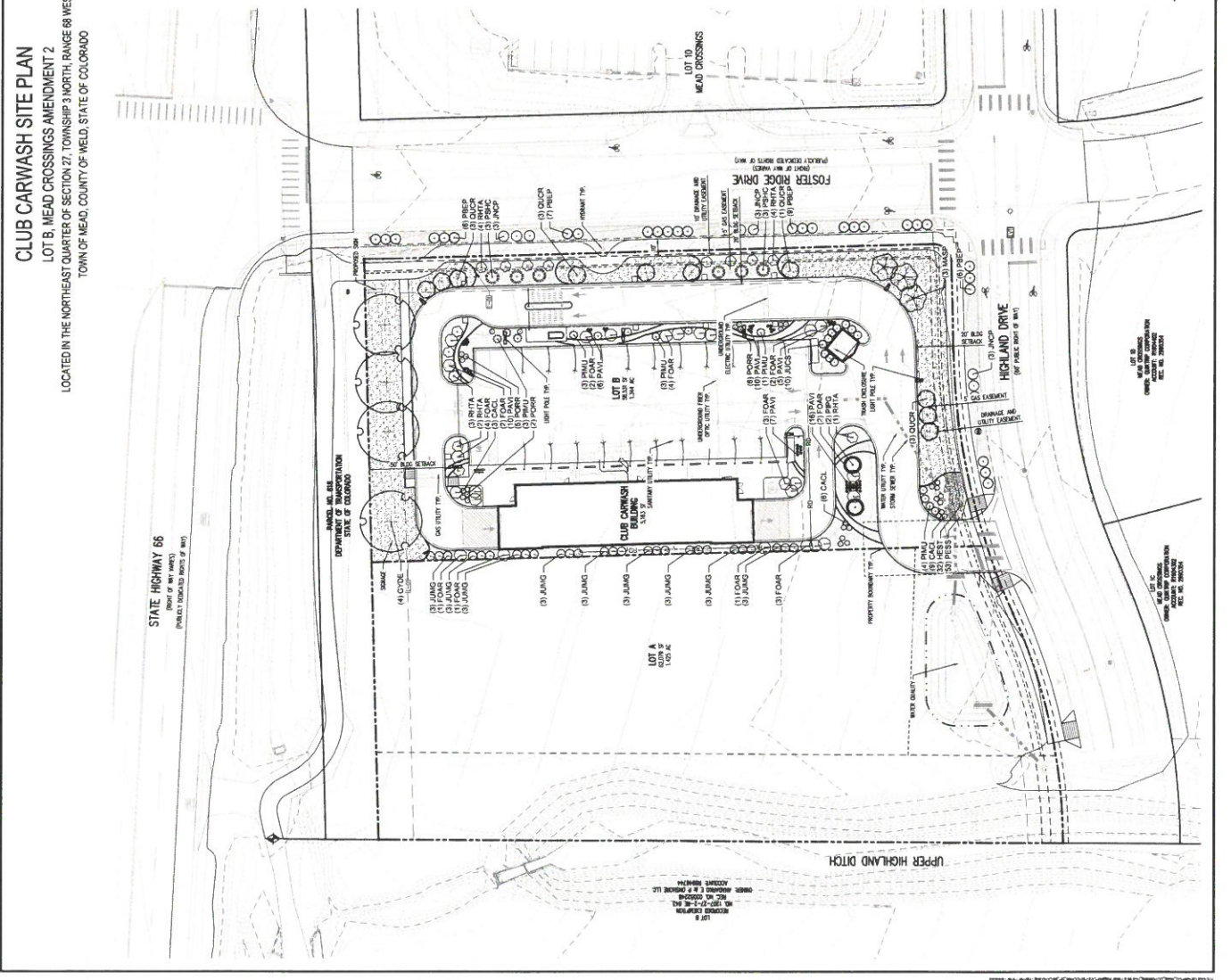
SYMBOL	COMMON NAME	QUANTITY	SIZE	CONT.	HT.	SP.	WT.
(SYMBOL)	WINDMILL PINE	2	2" CAL	B&B	2' CAL	50' X 25'	LO
(SYMBOL)	WINDMILL PINE	2	2" CAL	B&B	2' CAL	50' X 25'	LO

SYMBOL	COMMON NAME	QUANTITY	SIZE	CONT.	HT.	SP.	WT.
(SYMBOL)	WINDMILL PINE	2	2" CAL	B&B	2' CAL	50' X 25'	LO
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(SYMBOL)	WINDMILL PINE	2	2" CAL	B&B	2' CAL	50' X 25'	LO
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(SYMBOL)	WINDMILL PINE	2	2" CAL	B&B	2' CAL	50' X 25'	LO
(SYMBOL)	WINDMILL PINE	2	2" CAL	B&B	2' CAL	50' X 25'	LO

CAUTION - WORK TO CONTRACTOR
 ALL PLANT MATERIAL SHOULD BE SOURCE AND SPECIFIED AS SHOWN ON THIS PLAN. ALL MATERIALS SHOULD BE VERIFIED AND APPROVED BY THE CLIENT. ALL MATERIALS SHOULD BE SOURCE AND SPECIFIED AS SHOWN ON THIS PLAN. ALL MATERIALS SHOULD BE VERIFIED AND APPROVED BY THE CLIENT. ALL MATERIALS SHOULD BE SOURCE AND SPECIFIED AS SHOWN ON THIS PLAN. ALL MATERIALS SHOULD BE VERIFIED AND APPROVED BY THE CLIENT.



STATE HIGHWAY 66
 (PARTLY PAVED) (RANGE OF 80')

STATE HIGHWAY 66
 (PARTLY PAVED) (RANGE OF 80')

SCALE: 1" = 20'

CONTRACTOR:
 THESE PLANS ARE AN INSTRUMENT OF SERVICE.
 THEY SHALL BE PROVIDED TO THE CLIENT AND NOT REPRODUCED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GALLOWAY USA, INC.



#	Date	Issue Description
1	02/20/21	Initial Issue
2	02/22/21	Revised Issue
3	02/23/21	Final Issue

Project No.	COM-2020-001
Client	MEAD TWP
County	JEFFERSON
City	MEAD
Site	LOT B

LANDSCAPE DETAILS

UTILITY NOTES

1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION.
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LANDSCAPE REQUIREMENTS

CODE SECTION	CATEGORY	FORMULA	CALCULATION	REQUIRED	PROVIDED
16.2.150 (6)(1)	STREETSCAPE LANDSCAPING	FOSTER RIDGE DR 1 TREE / 40 LF	331 LF / 40	8 TREES	8 TREES
16.2.150 (6)(1)	STREETSCAPE LANDSCAPING	HELAND DR 1 TREE / 40 LF	195 LF / 40	4 TREES	4 TREES
16.2.150 (6)(1)	STREETSCAPE LANDSCAPING	HIGHWAY 66 1 TREE / 40 LF	173 LF / 40	4 TREES	4 TREES
16.2.150 (6)(3)(a)	COMMERCIAL LANDSCAPING STANDARDS	MIN. 20% OF SITE AS LANDSCAPE	58,330 SF / 0.2	11,706 SF	18,347 SF
16.2.150 (6)(3)(b.1)	SITE TREES	MIN. 1 TREE / 1,000 SF LANDSCAPED AREA	18,347 SF / 1,000	19 TREES	24 TREES
16.2.150 (6)(3)(b.2)	SHRUBS	MIN. 1 SHRUB / 150 SF LANDSCAPED AREA	18,347 SF / 150	124 SHRUBS	124 SHRUBS

LANDSCAPE MAINTENANCE AND WATERING

1. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.
2. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.
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SHRUB PLANTING

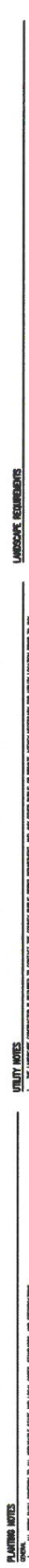
1. SHRUBS SHALL BE PLANTED AT THE FOLLOWING SPACING: 12" ON CENTER FOR 18" TALL SHRUBS, 18" ON CENTER FOR 24" TALL SHRUBS, AND 24" ON CENTER FOR 36" TALL SHRUBS.
2. SHRUBS SHALL BE PLANTED AT THE FOLLOWING SPACING: 12" ON CENTER FOR 18" TALL SHRUBS, 18" ON CENTER FOR 24" TALL SHRUBS, AND 24" ON CENTER FOR 36" TALL SHRUBS.
3. SHRUBS SHALL BE PLANTED AT THE FOLLOWING SPACING: 12" ON CENTER FOR 18" TALL SHRUBS, 18" ON CENTER FOR 24" TALL SHRUBS, AND 24" ON CENTER FOR 36" TALL SHRUBS.

DECIDUOUS TREE PLANTING

1. DECIDUOUS TREES SHALL BE PLANTED AT THE FOLLOWING SPACING: 12" ON CENTER FOR 18" TALL TREES, 18" ON CENTER FOR 24" TALL TREES, AND 24" ON CENTER FOR 36" TALL TREES.
2. DECIDUOUS TREES SHALL BE PLANTED AT THE FOLLOWING SPACING: 12" ON CENTER FOR 18" TALL TREES, 18" ON CENTER FOR 24" TALL TREES, AND 24" ON CENTER FOR 36" TALL TREES.
3. DECIDUOUS TREES SHALL BE PLANTED AT THE FOLLOWING SPACING: 12" ON CENTER FOR 18" TALL TREES, 18" ON CENTER FOR 24" TALL TREES, AND 24" ON CENTER FOR 36" TALL TREES.

CONIFEROUS TREE PLANTING

1. CONIFEROUS TREES SHALL BE PLANTED AT THE FOLLOWING SPACING: 12" ON CENTER FOR 18" TALL TREES, 18" ON CENTER FOR 24" TALL TREES, AND 24" ON CENTER FOR 36" TALL TREES.
2. CONIFEROUS TREES SHALL BE PLANTED AT THE FOLLOWING SPACING: 12" ON CENTER FOR 18" TALL TREES, 18" ON CENTER FOR 24" TALL TREES, AND 24" ON CENTER FOR 36" TALL TREES.
3. CONIFEROUS TREES SHALL BE PLANTED AT THE FOLLOWING SPACING: 12" ON CENTER FOR 18" TALL TREES, 18" ON CENTER FOR 24" TALL TREES, AND 24" ON CENTER FOR 36" TALL TREES.



1.1 SHRUB PLANTING
 N.T.S.

1.2 DECIDUOUS TREE PLANTING
 N.T.S.

1.3 CONIFEROUS TREE PLANTING
 N.T.S.

PLANTING NOTES

1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF COLORADO PLANTING STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.
3. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.

CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.
2. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.
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GENERAL NOTES

1. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.
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3. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.

CONTRACTOR'S OBLIGATIONS

1. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.
2. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.
3. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.

PLANTING SPECIFICATIONS

1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF COLORADO PLANTING STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.
3. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.

PLANTING SCHEDULE

1. ALL PLANTING SHALL BE COMPLETED WITHIN 180 DAYS OF THE DATE OF COMMENCEMENT OF CONSTRUCTION.
2. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.
3. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.

PLANTING MATERIALS

1. ALL PLANTING MATERIALS SHALL BE OF THE HIGHEST QUALITY AVAILABLE.
2. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.
3. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.

PLANTING METHODS

1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF COLORADO PLANTING STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.
3. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.

PLANTING COSTS

1. ALL PLANTING COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.
3. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.

PLANTING INSURANCE

1. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.
2. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.
3. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.

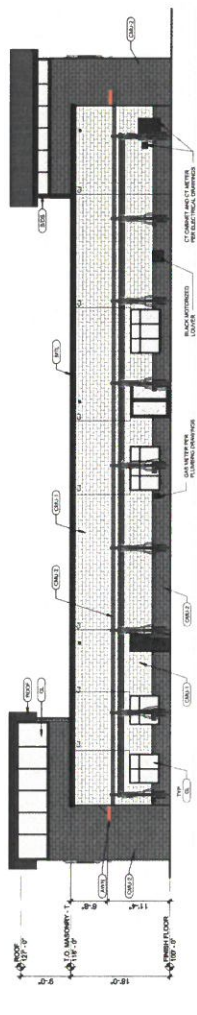
PLANTING RECORDS

1. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.
2. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF 180 DAYS FROM THE DATE OF COMPLETION OF CONSTRUCTION.
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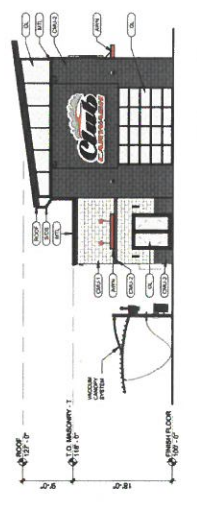
CLUB CARWASH SITE PLAN
 LOT B, MEAD CROSSINGS AMENDMENT 2
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

EXTERIOR MATERIAL LEGEND

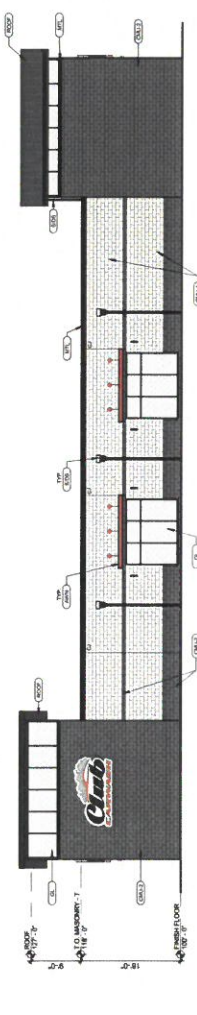
CM-1	CONCRETE
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CM-100	CONCRETE



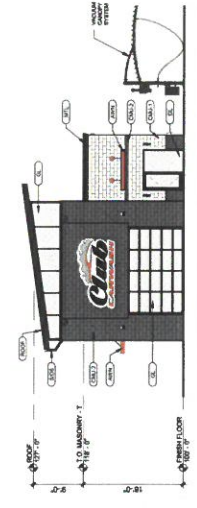
EAST ELEVATION | 3/24" = 1'-0"



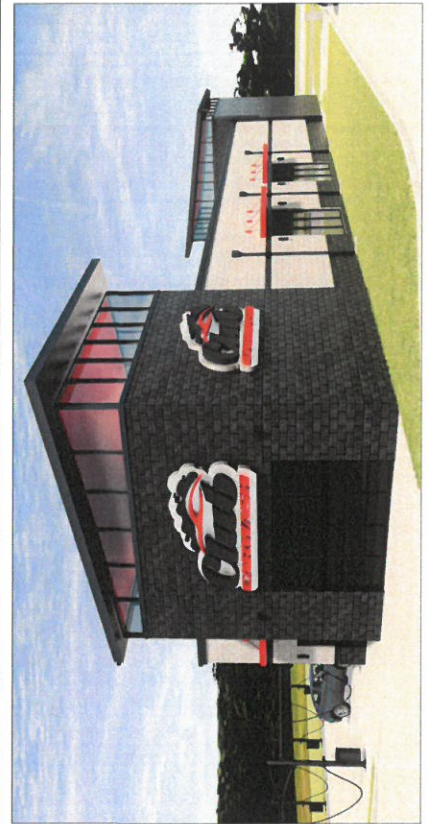
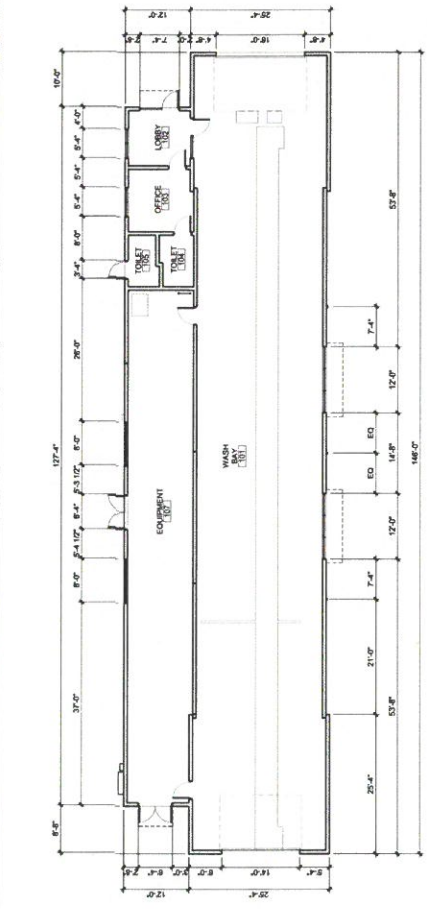
NORTH ELEVATION | 3/24" = 1'-0"



WEST ELEVATION | 3/24" = 1'-0"



SOUTH ELEVATION | 3/24" = 1'-0"



EXTERIOR COLOR PALETTE

CM-1	CONCRETE
CM-2	CONCRETE
CM-3	CONCRETE
CM-4	CONCRETE
CM-5	CONCRETE
CM-6	CONCRETE
CM-7	CONCRETE
CM-8	CONCRETE
CM-9	CONCRETE
CM-10	CONCRETE
CM-11	CONCRETE
CM-12	CONCRETE
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CM-14	CONCRETE
CM-15	CONCRETE
CM-16	CONCRETE
CM-17	CONCRETE
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CM-42	CONCRETE
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CM-44	CONCRETE
CM-45	CONCRETE
CM-46	CONCRETE
CM-47	CONCRETE
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CM-70	CONCRETE
CM-71	CONCRETE
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CM-92	CONCRETE
CM-93	CONCRETE
CM-94	CONCRETE
CM-95	CONCRETE
CM-96	CONCRETE
CM-97	CONCRETE
CM-98	CONCRETE
CM-99	CONCRETE
CM-100	CONCRETE

SLAB PLAN | 3/24" = 1'-0"

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CLUB CARWASH SITE PLAN
LOT B, MEAD CROSSINGS AMENDMENT 2
CLUB CARWASH
 S.H. 66 & FOSTER RIDGE DR.
 MEAD, COLORADO

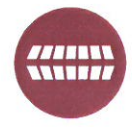
#	Date	Description	By	Appr.
1	10/20/23	Initial Design	JAW	JAW
2	10/20/23	Final Design	JAW	JAW
3	10/20/23	Final Design	JAW	JAW

Project No:	CC-2023-0006
Drawn By:	JAW
Checked By:	JAW
Date:	10/20/23

BUILDING ELEVATIONS

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CLUB CARWASH SITE PLAN
 LOT B, MEAD CROSSINGS AMENDMENT 2
 MEAD, COLORADO
 S.H. 66 & FOSTER RIDGE DR.

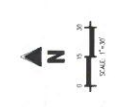
NO.	DATE	DESCRIPTION	BY
1	10/20/20	PRELIMINARY	JAS
2	10/20/20	FOR REVIEW	JAS
3	10/20/20	FOR REVIEW	JAS

Project No: _____
 Sheet No: 000
 Date: 11/19/20
 Drawn By: _____
 Checked By: _____

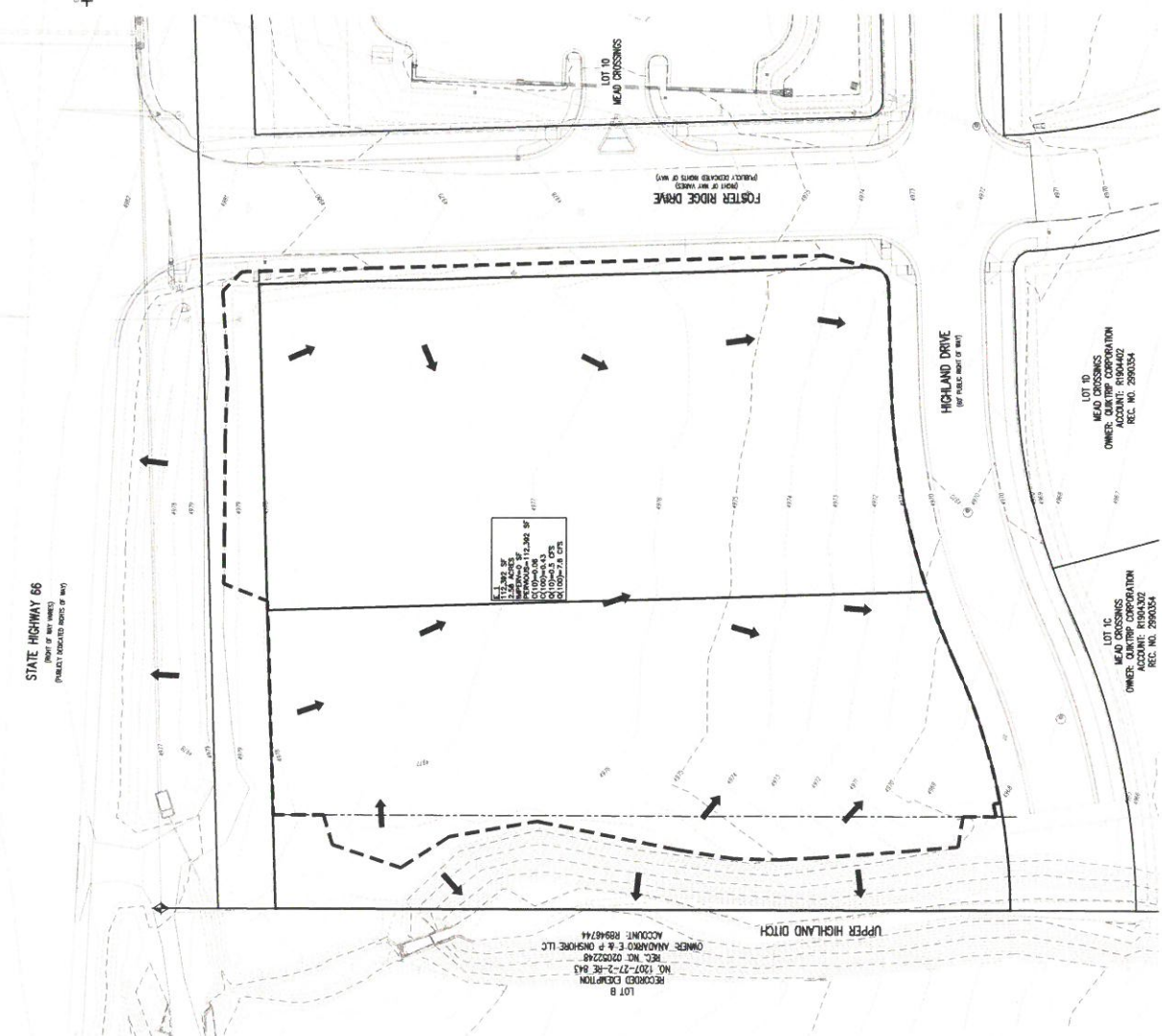
PRE-DEVELOPMENT DRAINAGE
 PLAN

DR-1
 4/23

CLUB CARWASH SITE PLAN
 LOT B, MEAD CROSSINGS AMENDMENT 2
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M.,
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



- EXISTING LEGEND**
- EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING STORM SEWER (LESS THAN 12" DIA)
 - EXISTING STORM SEWER (12" DIA AND LARGER)
 - PROPOSED STORM SEWER (LESS THAN 12" DIA)
 - PROPOSED STORM SEWER (12" DIA AND LARGER)
 - EXISTING UTILITY
 - PROPOSED UTILITY
 - UNBUILT LOT
 - LOT BOUNDARY



DATE: 11/19/20 11:41 AM PROJECT: 1707-27-2-RE-843 DRAWING: 1707-27-2-RE-843-000

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CLUB CARWASH SITE PLAN
LOT B, MEAD CROSSINGS AMENDMENT 2
 CLUB CARWASH
 S.H. 66 & FOSTER RIDGE DR.
 MEAD, COLORADO

Sheet No.	Description
1	PRELIMINARY SITE PLAN
2	MEAD CROSSINGS AMENDMENT 2
3	MEAD CROSSINGS AMENDMENT 2

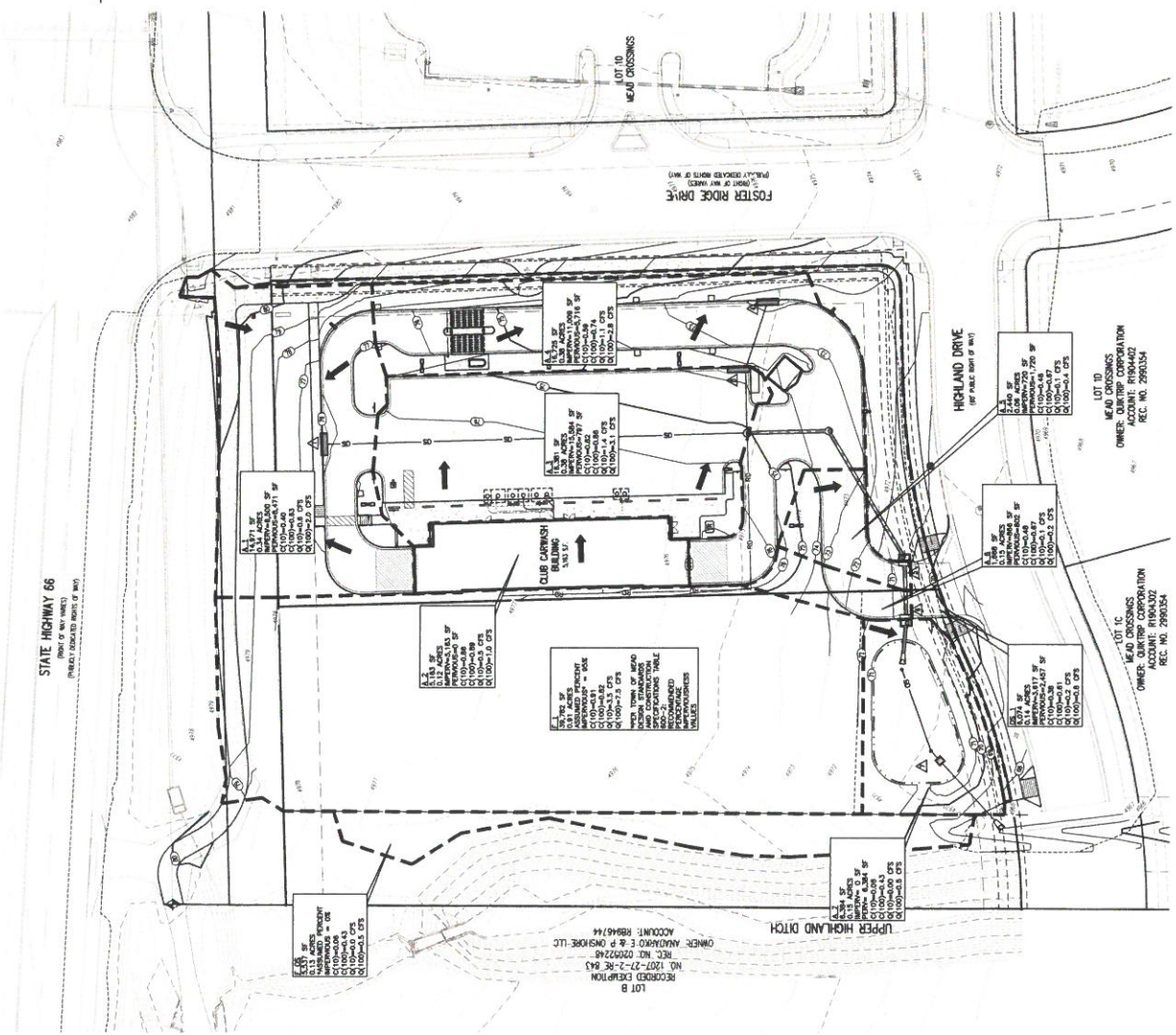
Project No.	Client
CO20000	
Drawn By:	Check By:
Date:	1/23/2017

CLUB CARWASH SITE PLAN
LOT B, MEAD CROSSINGS AMENDMENT 2
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 3 NORTH, RANGE 88 WEST OF THE 6TH P.M.,
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



GRADING LEGEND

---	EXISTING ROAD CENTER
---	EXISTING ROAD CENTER
---	PROPOSED ROAD CENTER
---	PROPOSED ROAD CENTER
---	EXISTING STORM SEWER (LESS THAN 10')
---	PROPOSED STORM SEWER (LESS THAN 10')
---	PROPOSED STORM SEWER (10' AND LARGER)
---	PROPOSED STORM SEWER (10' AND LARGER)
---	PROPOSED STREET ELEVATION
---	FINISHED FLOOR
---	TOP POINT
---	LOW POINT



LOT B
 RECORDED EXEMPT
 NO. 1707-27-22-8C 843
 REC. NO. 2952748
 OWNER: ANTHONY E. P. CHISHOLM, LLC
 ACCOUNT: 8884944

LOT 10
 MEAD CROSSINGS
 ACCOUNT: 8884942
 REC. NO. 2951534

LOT 10
 MEAD CROSSINGS
 ACCOUNT: 8884942
 REC. NO. 2951534

LOT 10
 MEAD CROSSINGS
 ACCOUNT: 8884942
 REC. NO. 2951534

LOT 10
 MEAD CROSSINGS
 ACCOUNT: 8884942
 REC. NO. 2951534