

**TOWN OF MEAD, COLORADO
ORDINANCE NO. 1053**

**AN ORDINANCE OF THE TOWN OF MEAD, COLORADO,
APPROVING THE TOWN OF MEAD
COMMUNITY CENTER SITE PLAN**

WHEREAS, the Town of Mead is authorized to regulate the use and development of land within its jurisdiction, pursuant to Title 31, Article 23, C.R.S., Title 29, Article 20, C.R.S. and the Town’s Land Use Code, codified in Chapter 16 of the *Mead Municipal Code* (“**MMC**”); and

WHEREAS, the Town of Mead, Colorado (“**Applicant**”), has submitted to the Town a land use application for a site plan designated as the TOWN OF MEAD COMMUNITY CENTER SITE PLAN, attached hereto and incorporated as EXHIBIT 1 of this Ordinance (“**Site Plan**”); and

WHEREAS, the Site Plan application concerns certain property generally located south of Martin Avenue and west of Weld County Road 7 (3rd Street), as more particularly described in the Site Plan (“**Property**”); and

WHEREAS, Applicant is the owner of the Property; and

WHEREAS, the Applicant desires to construct a community center facility together with certain public improvements including the construction of drainage and landscaping improvements, Main Street access, parking, and other improvements as shown on the Site Plan; and

WHEREAS, in accordance with Section 16-4-100(b)(8) of the MMC, Town staff has conditionally approved the Site Plan; and

WHEREAS, Section 16-4-100(b)(9) of the MMC requires that the Site Plan be presented to the Board of Trustees for its adoption by ordinance; and

WHEREAS, the Town Board of Trustees has reviewed the Site Plan and has determined that the Site Plan satisfies the site plan review criteria set forth in the MMC; and

WHEREAS, the administrative record for this case includes, but is not limited to, the MMC, the Town of Mead Comprehensive Plan, all other applicable ordinances, resolutions and regulations, the staff report/agenda item summary presented to the Board of Trustees, the Site Plan application and all other submittals of the Owner and Applicant, the Site Plan, and the recording and minutes of the Board of Trustees meeting at which the Site Plan was considered; and

WHEREAS, the Town Board of Trustees desires to conditionally approve the Site Plan.

NOW THEREFORE, BE IT ORDAINED by the Board of Trustees of the Town of Mead, Weld County, Colorado, that:

Section 1. Recitals incorporated. The foregoing recitals are incorporated herein as findings of the Board of Trustees.

Section 2. Site Plan Approval. The Site Plan is approved subject to the following condition:
a. The Applicant shall resolve and correct any technical issues as directed by Town Staff prior to signature of Town officials on the Site Plan.

Section 3. The Mayor is hereby authorized to sign the Site Plan on behalf of the Town, and the Town Clerk is hereby authorized to attest the signature of the Mayor on the Site Plan.

Section 4. Effective Date. This ordinance shall be published and become effective as provided by law.

Section 5. Severability. If any part, section, subsection, sentence, clause or phrase of this ordinance is for any reason held to be invalid, such invalidity shall not affect the validity of the remaining sections of the Ordinance. The Board of Trustees hereby declares that it would have passed the ordinance including each part, section, subsection, sentence, clause or phrase thereof, irrespective of the fact that one or more part, section, subsection, sentence, clause or phrase is declared invalid.

Section 6. Repealer. All ordinances or resolutions, or parts thereof, in conflict with this ordinance are hereby repealed, provided that such repealer shall not repeal the repealer clauses of such ordinance nor revive any ordinance thereby.

Section 7. Certification. The Town Clerk shall certify to the passage of this ordinance and make not less than one copy of the ordinance available for inspection by the public during regular business hours.

INTRODUCED, READ, PASSED, AND ADOPTED THIS 29th DAY OF APRIL, 2024.

ATTEST:

By:

Mary E. Strutt
Mary E. Strutt, MMC, Town Clerk



TOWN OF MEAD

By:

Colleen G. Whitlow
Colleen G. Whitlow, Mayor

EXHIBIT 1
TOWN OF MEAD COMMUNITY CENTER SITE PLAN

[Attached.]

LOT 1 OF MEAD COMMUNITY CENTER SITE PLAN

LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAT,
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

CERTIFICATE OF OWNERSHIP AND DESIGNATION

THE TOWN OF MEAD IS THE OWNER OF CERTAIN LANDS DESCRIBED BELOW, AND BY THIS PLAT, HAS CAUSED SAID LAND TO BE RESUBDIVIDED AND CONSOLIDATED INTO ONE (1) LOT UNDER THE NAME OF MEAD COMMUNITY CENTER SUBDIVISION.

THE TOWN OF MEAD IS THE OWNER OF CERTAIN LANDS IN MEAD, COLORADO, DESCRIBED HEREIN, AND BY THIS PLAT, AS APPLICABLE: (1) HAS CAUSED SAID LAND TO BE RE-PLATTED INTO LOTS, BLOCKS, TRACTS, STREETS, OR OTHER DESIGNATED PARCELS, AS APPLICABLE, UNDER THE NAME OF MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAT; AND (2) HEREBY DEDICATES AND GRANTS FOR THE PUBLIC BENEFIT SUCH EASEMENTS AS ARE DEPICTED OR BY NOTE OR NOTATION REFERENCED HEREON (EXCEPT THOSE OF PRIOR RECORD, FOR THE USES AND PURPOSES SO INDICATED), ALONG WITH THE PERPETUAL RIGHT OF ingress AND egress FROM AND TO ADJACENT PROPERTIES FOR THE PURPOSES NAMED ON THE EASEMENT, INCLUDING AS APPLICABLE THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF UTILITY LINES AND/OR FACILITIES OR SERVICES CONSISTENT WITH THE PURPOSE OF THE EASEMENT, BY THE TOWN OR APPLICABLE UTILITY/SERVICE PROVIDER OR ENTITY. THE TOWN DOES NOT ACCEPT ANY DUTY OF MAINTENANCE OF THE EASEMENTS, OR OF IMPROVEMENTS IN THE EASEMENTS THAT ARE NOT OWNED BY THE TOWN, AND FURTHER RESERVES THE RIGHT TO REMOVE OR REQUIRE THE OWNER(S) OF IMPROVEMENTS IN THE EASEMENTS TO REMOVE AT THE EXPENSE OF THE OWNER(S). ANY OBJECTS IN THE EASEMENTS THAT INTERFERE WITH THEIR USE AND ENJOYMENT FOR THEIR INTENDED PURPOSE, THE RIGHTS GRANTED TO THE TOWN BY THIS PLAT PURVE ALSO TO THE BENEFIT OF ITS AUTHORIZED AGENTS, LICENSEES, PERMITTEES AND ASSIGNS, ALL CONDITIONS, TERMS, WARRANTIES, REPRESENTATIONS, AND SPECIFICATIONS DESIGNATED OR DESCRIBED HEREIN SHALL BE BINDING ON THE OWNER AND THE SUCCESSORS AND ASSIGNS OF THE OWNER.

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 3 NORTH, RANGE 60 WEST OF THE 6TH PM, TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

CONSIDERING THE WESTERLY LINE OF VACATED FAIRBARN AVENUE AS DESCRIBED IN THE RECORDS OF WELD COUNTY ON MAY 7, 2001, AT REC. NO. 284993, AND THE EASTERLY LINE OF A 20' WIDE PLATTED ALLEY, BLOCK 7, TOWN OF MEAD AS DESCRIBED IN THE RECORDS OF WELD COUNTY ON FEBRUARY 12, 2001, AT RECEPTION NO. 104920 TO BEAR NORTH 00°24'00" WEST, A DISTANCE OF 376.17 FEET BETWEEN A FOUND ¼" REBAR WITH 1" ¼" ALUMINUM CAP, "PLATINGS BURY 2003" AT THE SOUTHWEST CORNER OF SAID VACATED FAIRBARN AVENUE AND A FOUND ¼" REBAR WITH A "1" BROWN YELLOW PLASTIC CAP, LEGIBLE AT THE NORTHWEST CORNER OF LOT 1, SAID BLOCK 7, AS SHOWN HEREON, COLORADO STATE PLANS COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983 (NAD83), ALL BEARINGS SHOWN HEREON ARE RELATIVE THERE TO.

BEGINNING AT SAID NORTHWEST CORNER; THENCE ALONG THE SOUTH RIGHT-OF-WAY LINE OF MEAD STREET, NORTH 69°12'00" EAST, A DISTANCE OF 50.00 FEET;

THENCE DEPARTING SAID SOUTH RIGHT-OF-WAY LINE AND ALONG THE WESTERLY RIGHT-OF-WAY LINE OF 3RD STREET, SOUTH 90°20'00" EAST, A DISTANCE OF 266.75 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE GREAT WESTERN RAILWAY COMPANY;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY LINE, SOUTH 20°22'30" WEST, A DISTANCE OF 207.85 FEET; THENCE DEPARTING SAID WESTERLY RIGHT-OF-WAY LINE, SOUTH 82°44'41" WEST, A DISTANCE OF 227.35 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF MEAD STREET;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE, NORTH 00°24'00" WEST, A DISTANCE OF 74.94 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF FAIRBARN AVENUE;

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, NORTH 88°43'30" EAST, A DISTANCE OF 158.39 FEET TO THE SOUTHWEST CORNER OF SAID VACATED FAIRBARN AVENUE;

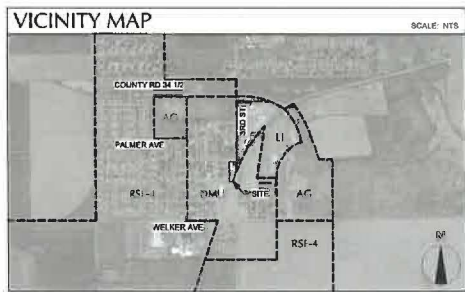
THENCE ALONG THE WESTERLY LINE OF SAID VACATED FAIRBARN AVENUE, AND ALONG THE EASTERLY LINE OF SAID 20' WIDE PLATTED ALLEY, NORTH 00°24'00" WEST, A DISTANCE OF 376.17 FEET TO THE NORTHWEST CORNER OF SAID LOT 1, AND THE POINT OF BEGINNING.

THE UNDERSIGNED FINAL PLAT CONTAINS 66.798 SQ. FT. OR 1.56 ACRES (MORE OR LESS, TOGETHER WITH AND SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY EXISTING AND/OR OF PUBLIC RECORD,

IN WITNESS WHEREOF, WE HAVE HERETO SET OUR HAND AND SEAL THIS ____ DAY OF _____ 20__

OWNER: TOWN OF MEAD, COLORADO ATTEST:

MAYOR TOWN CLERK



PROJECT TEAM

OWNER TOWN OF MEAD 84 3RD STREET MEAD, CO 80542 T: 970.955.4180 CONTACT: SERIA RASMUSSEN EMAIL: s.rasmussen@townofmead.org	ELECTRICAL ENGINEER AE DESIGN GROUP, INC. 1860 WARE STREET, SUITE 205 DENVER, CO 80202 T: 303.296.3670 CONTACT: MILO STANLEY EMAIL: mstanley@aedesigngroup.com	OWNER'S REP DIRECDO SERVICES 2132 N. TRAILSURVE ROAD, SUITE 119 FORT COLLINS, CO 80526 T: 970.822.5866 CONTACT: BILL RENZ EMAIL: bill_renz@direcdo.com
ARCHITECT ESSENZA ARCHITECTURE 865 S. ARTHUR AVE., UNIT 12-B LOUISVILLE, CO 80027 T: 303.952.5090 CONTACT: CHRISTA PLAZA EMAIL: christa@essenzaarch.com	LANDSCAPE ARCHITECT ROBERT REEBEN 244 NORTH COLLIERIE AVE #150 FORT COLLINS, CO 80524 T: 970.493.3414 CONTACT: RYAN HOLDORF EMAIL: rholdorf@robertreeben.com	MEMBER STEVEN STEEL PO BOX 473 FORT COLLINS, CO 80522 T: 970.493.9861 CONTACT: TONY DEMARCO EMAIL: tonydemarco@mead.net
CIVIL ENGINEER MPO ENGINEERING 1550 QUINCE AVE. BOULDER, CO 80509 T: 303.446.6224 CONTACT: MARC DOLZEL EMAIL: mard@mpo-engineers.com	STRUCTURAL ENGINEER MARTIN MARTIN 1348 WEST COUFAY AVENUE LAKEWOOD, CO 80215 T: 303.451.6100 x 435 CONTACT: PETER FALLA IL PE EMAIL: pfalla@martinmartin.com	MECHANICAL/PLUMBING ENGINEER BALLARD GROUP 2575 S. WADSWORTH BLVD GLENVIEW, CO LAKEWOOD, CO 80227 T: 303.288.4544 x 418 CONTACT: PETER FALLA IL PE EMAIL: pfalla@ballardgroup.com
LITTLE THOMPSON WATER DISTRICT 815 E. HIGHWAY 56 BERTHOUD, CO 80513 T: 970.522.2098 CONTACT: CLAYTON ORBACK EMAIL: cloback@twad.org		

TOWN OF MEAD WATER STATEMENT

ALL WORK SHALL BE CONSTRUCTED TO THE TOWN OF MEAD STANDARDS AND SPECIFICATIONS. THESE PLANS HAVE BEEN REVIEWED BY THE TOWN OF MEAD FOR CONCEPT ONLY AND GENERAL CONFORMANCE WITH THE TOWN'S STANDARDS AND SPECIFICATIONS. THE REVIEW BY THE TOWN OF MEAD DOES NOT IMPLY RESPONSIBILITY BY THE TOWN OF MEAD OR THE TOWN ENGINEER FOR ACCURACY AND CORRECTNESS OF THE PLANS OR CALCULATIONS. FURTHERMORE, THE REVIEW DOES NOT IMPLY THAT QUANTITIES OF ITEMS ARE THE FINAL QUANTITIES REQUIRED. THE REVIEW SHALL NOT BE CONSIDERED IN ANY REGARD AS ACCEPTANCE OF FINANCIAL RESPONSIBILITY BY THE TOWN OF MEAD FOR ADDITIONAL QUANTITIES OF ITEMS SHOWN THAT MAY BE REQUIRED DURING THE CONSTRUCTION. THE APPROVAL IS FOR CONFORMANCE TO THESE STANDARDS AND SPECIFICATIONS AND OTHER TOWN REQUIREMENTS. THE DESIGN AND CONCEPT REMAINS THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER OR LANDSCAPE PROFESSIONAL.

SURVEY NOTES

SCALE FACTOR:
1.00078692
VERTICAL DATUM: NGS POINT 1.329, BEING A 3 1/2" BRASS CAP "1329 1651" LOCATED 2.3 MILES FROM THE SITE AT THE INTERSECTION OF U.S. HWY 66 AND COUNTY ROAD 5, WITH A PUBLISHED ELEVATION OF 4862.16 FEET, WAS CHECKED INTO WITH AN AS-MEASURED ELEVATION OF 4962.16 FEET.

SITE BENCHMARK: ON-SITE BENCHMARK ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF MARTIN AVENUE, BEING A SET 4" IRON WITH A 1" P.W.M. PLASTIC CAP "PLATINGS CONTROL" WITH AN ELEVATION OF 3001.92 FEET (NAD 83), C=1315175.32, N=1329384.37

SURVEYING CERTIFICATE

I, _____, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SITE BOUNDARIES SHOWN HEREON ARE A CORRECT DELINEATION OF THE ABOVE DESCRIBED PARCELS OF LAND.

I FURTHER CERTIFY THAT THE APPROVEMENT SURVEY PLAT WAS PREPARED UNDER MY PERSONAL SUPERVISION AND IN ACCORD WITH APPLICABLE STATE OF COLORADO REQUIREMENTS.

ON THIS _____ DAY OF _____

BY: _____ (SEAL)

TOWN ENGINEER CERTIFICATE

THE SITE PLAN SHOWN HEREON HAS BEEN REVIEWED BY THE TOWN ENGINEER AND APPROVED AS FOLLOWS:

THIS _____ DAY OF _____

CERTIFICATE OF FINAL STAFF REVIEW AND APPROVAL

THE SITE PLAN SHOWN HEREON HAS BEEN REVIEWED AND APPROVED BY THE TOWN OF MEAD STAFF, WITH SUBMITTAL THEREAFTER TO THE BOARD OF TRUSTEES FOR ACCEPTANCE BY ORDINANCE.

THIS _____ DAY OF _____

CERTIFICATE OF APPROVAL BY THE BOARD OF TRUSTEES

THE SITE PLAN SHOWN HEREON IS APPROVED AND ACCEPTED BY ORDINANCE NO. _____ (ORDINANCE), PASSED AND ADOPTED AT THE REGULAR MEETING OF THE BOARD OF TRUSTEES OF TOWN OF MEAD, COLORADO, HELD ON _____ THE ORDINANCE FURTHER ACKNOWLEDGES THAT THE TOWN OVER THE PROPERTY DESCRIBED HEREON, AS FURTHER SHOWN ON THE IMPROVEMENT SURVEY AND RECORDED WITH THE WELD COUNTY CLERK AND RECORDED AT RECEPTION NOS. 294843, 291124, 239768, AND 301179, THE TOWN ACKNOWLEDGES THAT SUCH EASEMENTS HAVE EXTINGUISHED BY MERGER ON THE TOWN'S FEE OWNERSHIP AND EASEMENT INTERESTS.

HELD ON _____

TOWN OF MEAD, COLORADO ATTEST:

MAYOR TOWN CLERK

PRELIMINARY
NOT FOR CONSTRUCTION
07/21/23

811
call before you dig

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WWW.ESSENZA-ARCH.COM
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SHEET INDEX

SHEET #	SHEET NAME
1	COVER SHEET
2	STANDARD GENERAL NOTES
3	IMPROVEMENT SURVEY PLAT
4	IMPROVEMENT SURVEY PLAT
5	SITE PLAN
6	UTILITY PLAN
7	UTILITY PLAN
8	GRADING AND DRAINAGE PLAN
9	LANDSCAPE SITE NOTES
10	PHASE 1 LANDSCAPE SITE PLAN
11	PHASE 2 LANDSCAPE SITE PLAN
12	LANDSCAPE SITE DETAILS
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15	LANDSCAPE SITE DETAILS
16	LANDSCAPE NOTES
17	PHASE 1 LANDSCAPE PLAN
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23	IRRIGATION DETAILS
24	IRRIGATION DETAILS
25	IRRIGATION DETAILS
26	IRRIGATION DETAILS
27	IRRIATION DETAILS
28	10 PERPECTIVES
29	SITE PHOTO METRIC
30	LIGHTING FIXTURE OUTSHEETS
31	LIGHTING FIXTURE OUTSHEETS
32	LIGHTING FIXTURE OUTSHEETS

SITE DATA TABLE

SITE AREA (SFAC)	68,798 SF	1.58 AC
TOTAL LOT COVERAGE	0.62	
BUILDING (SF)	11,581 SF	
LAND USE	OFFICE / BUSINESS USES	
BDDO HEIGHT PROPOSED	31' - 0"	
NUMBER OF EMPLOYEES	6	
	*REQUIRED	PROPOSED
PARKING SPACES	23	64
ACCESSIBLE SPACES	3	3
BICYCLE SPACES	2	6

*PER MEAD MUNICIPAL CODE - CHAPTER 18 - ARTICLE 6 - TABLE 21 PARKING REQUIREMENTS

ISSUE:
SITE PLAN SUBMITTAL
DATE:
07/21/23
REVISION:
11/10/23
03/18/24

DRAWN BY:
MF
REVIEWED BY:
CP
PROJECT #:
CP
DRAWING TITLE:
COVER SHEET

SHEET #:
A001.
SITE PLAN SHEET #
1 of 32

LITTLE THOMPSON WATER DISTRICT _____ DATE _____

NOT FOR CONSTRUCTION
 MEAD COMMUNITY CENTER
 401 3RD ST., MEAD, CO 80542
 COVER SHEET
 LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAT,
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

IMPROVEMENT SURVEY PLAT

A PORTION OF BLOCKS 6 & 7, AND VACATED FAIRBAIRN AVE, TOWN OF MEAD, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 3 NORTH, RANGE 68 WEST OF THE 6TH P.M., TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

SHEET 2 OF 2

PRELIMINARY
NOT FOR CONSTRUCTION



NOT FOR CONSTRUCTION

MEAD COMMUNITY CENTER
401 3RD ST. MEAD, CO 80542
IMPROVEMENT SURVEY PLAT
LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAT,
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



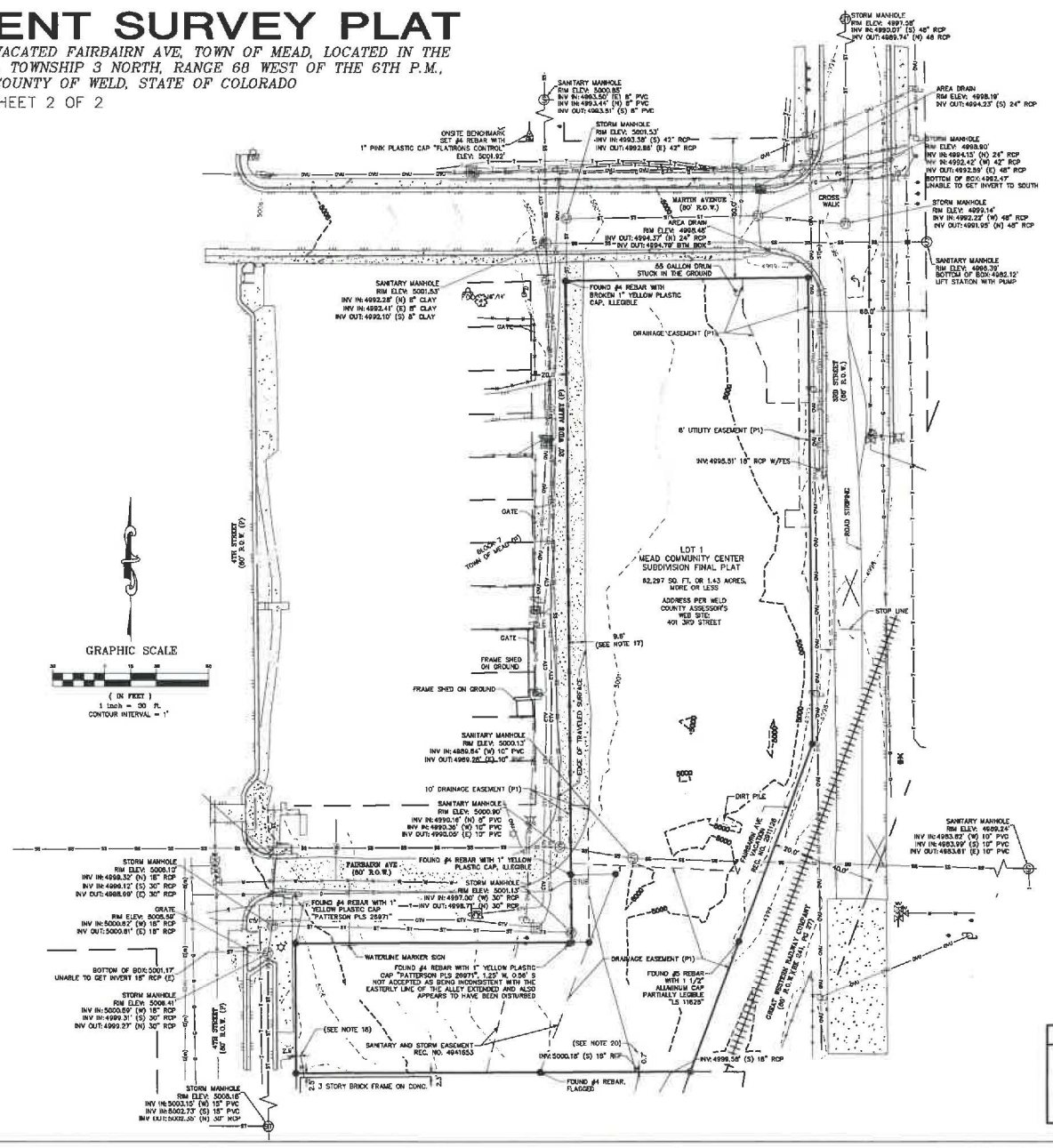
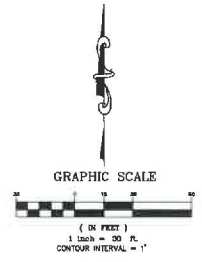
ISSUE:
DATE: JULY 20, 2023
REVISION: OCTOBER 17, 2023
JANUARY 10, 2024
MARCH 18, 2024



DRAWN BY: EP
REVIEWED BY: JZG/WWW/K
PROJECT #: 2206
DRAWING TITLE: IMPROVEMENT SURVEY PLAT
SHEET #: 2
SITE PLAN SHEET #: 4 of 31

TOWN OF MEAD APPROVAL
THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:
TOWN ENGINEER: DATE

- Legend**
- FOUND MONUMENT AS DESCRIBED
 - FOUND #4 REBAR WITH 1" YELLOW PLASTIC CAP "PATTERSON 25971"
 - SET TEMPORARY BENCHMARK AS DESCRIBED
 - FOUND #5 REBAR WITH 1 1/2" ALUMINUM CAP "FLATIRON SURV 29038"
 - (P) AS PER THE PLAT OF TOWN OF MEAD, REC. NO. 106433, 2/12/1908
 - (P1) AS PER THE PLAT OF LOT 1, MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAT
 - CONCRETE
 - TRAVELED SURFACE FOR 20' WIDE ALLEY (P) AND FAIRBAIRN AVE
 - EDGE OF ASPHALT
 - FENCE
 - SIGN
 - DECIDUOUS TREE (TRUNK DIAMETER/DRIP LINE RADII)
 - WATER LINE
 - WATER LINE SCALED FROM MAPS
 - WATER VALVE
 - WATER METER
 - FIRE HYDRANT
 - SANITARY SEWER LINE
 - SANITARY SEWER MANHOLE
 - STORM SEWER LINE
 - STORM SEWER MANHOLE
 - ELECTRIC LINE
 - TRANSFORMER
 - LIGHT POLE
 - OVER-HEAD UTILITY LINE
 - UTILITY POLE
 - OUT WIRE
 - TRAFFIC LIGHT
 - CABLE TV LINE
 - CABLE/FIBEROPTIC RISER
 - FIBEROPTIC LINE
 - FIBEROPTIC VAULT
 - TELEPHONE LINE
 - TELEPHONE RISER
 - GAS LINE
 - FLAGPOLE
 - RAILROAD CROSSING
 - ELEV
 - INVERT
 - PVC
 - RCP
 - REINFORCED CONCRETE PIPE
 - CENTER LINE OF RAILROAD TRACKS



PS 206 23-79490
REV 2023-07-18 EP
REV 2023-10-17 EP
REV 2023-11-03 EP
REV 2024-03-14 EP
REV 2024-04-22-EP

STORM MANHOLE
RM ELEV: 5008.16"
INV IN: 5002.94' (6) 18" RCP
INV IN: 4999.31' (5) 30" RCP
INV OUT: 4999.29' (6) 30" RCP

STORM MANHOLE
RM ELEV: 5008.16"
INV IN: 5002.94' (6) 18" RCP
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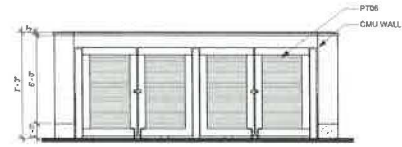
PRELIMINARY
NOT FOR CONSTRUCTION
07/14/23



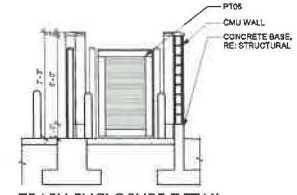
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PROJECT KEYNOTES

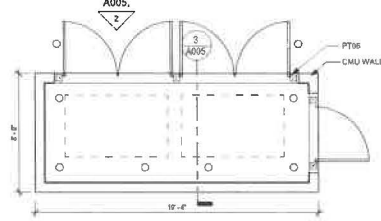
18.01	KEY CONC. POOL DECK TO BE DEMOLD
18.01	SHADE ENCLOSURE RE: LANDSCAPE
13.05	SPLASH PAD
21.01	FIRE HYDRANT
26.09	CONVERTOR, RE: ELEC.
26.09	UTILITY TRANSFORMER, RE: ELEC.
26.10	STRIKING LIGHTS, RE: ELEC.
26.14	MULTI-CIRCUIT BREAK SWITCHBOARD, RE: ELEC.
32.01	TRASH ENCLOSURE
32.04	AVAILED PARKING, RE: CIVIL
32.09	CURB & GUTTERS, RE: CIVIL
33.11	PLANTING, RE: LANDSCAPE
33.02	DETENTION POND, RE: CIVIL
33.03	ODS METER, RE: PLUMBING
34.01	EV CHARGING STATION CPOL, RE: ELEC



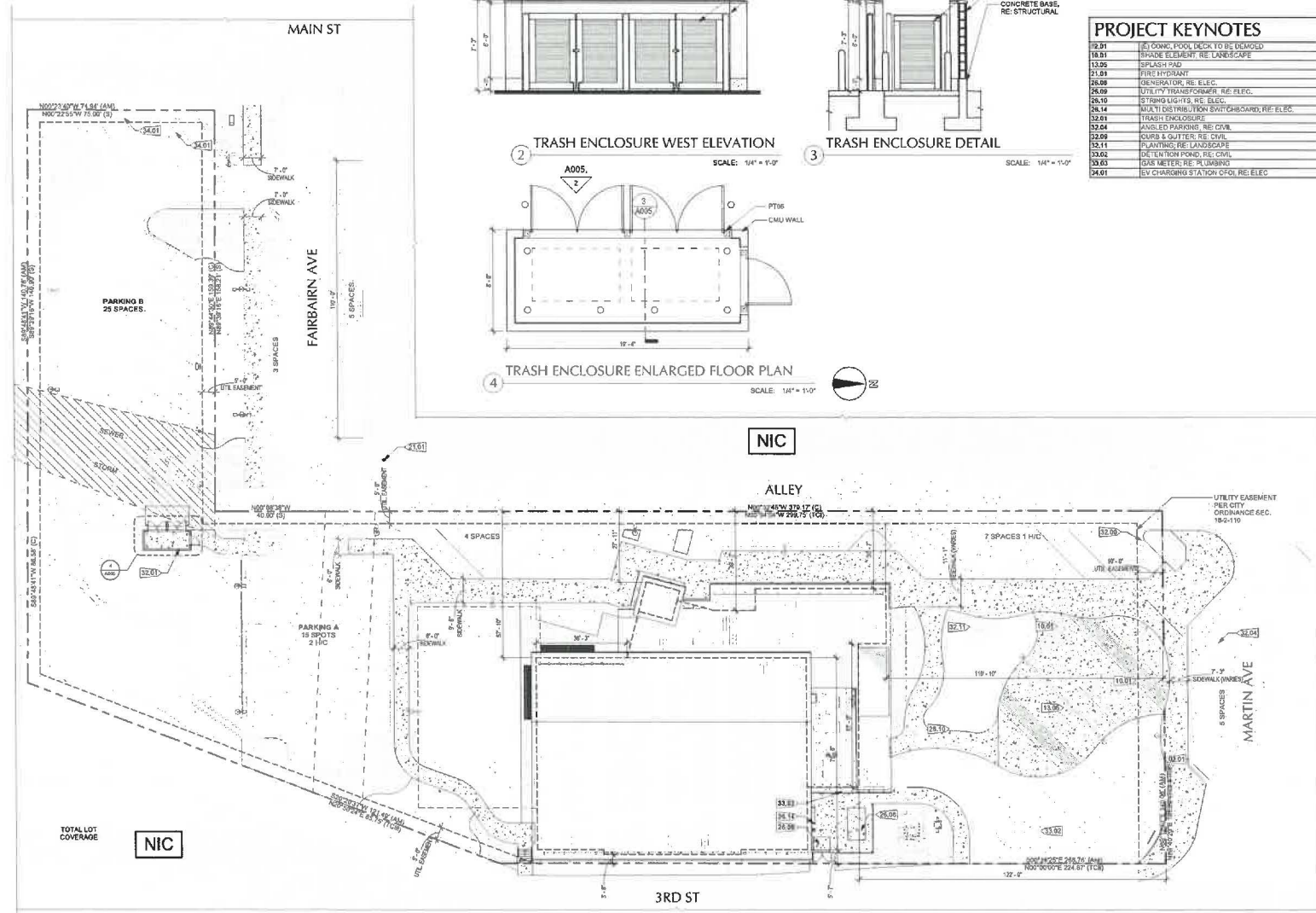
2 TRASH ENCLOSURE WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 TRASH ENCLOSURE DETAIL
SCALE: 1/4" = 1'-0"



4 TRASH ENCLOSURE ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 SITE PLAN
SCALE: 1" = 20'-0"

NOT FOR CONSTRUCTION

MEAD COMMUNITY CENTER
401 3RD ST. MEAD, CO 80542

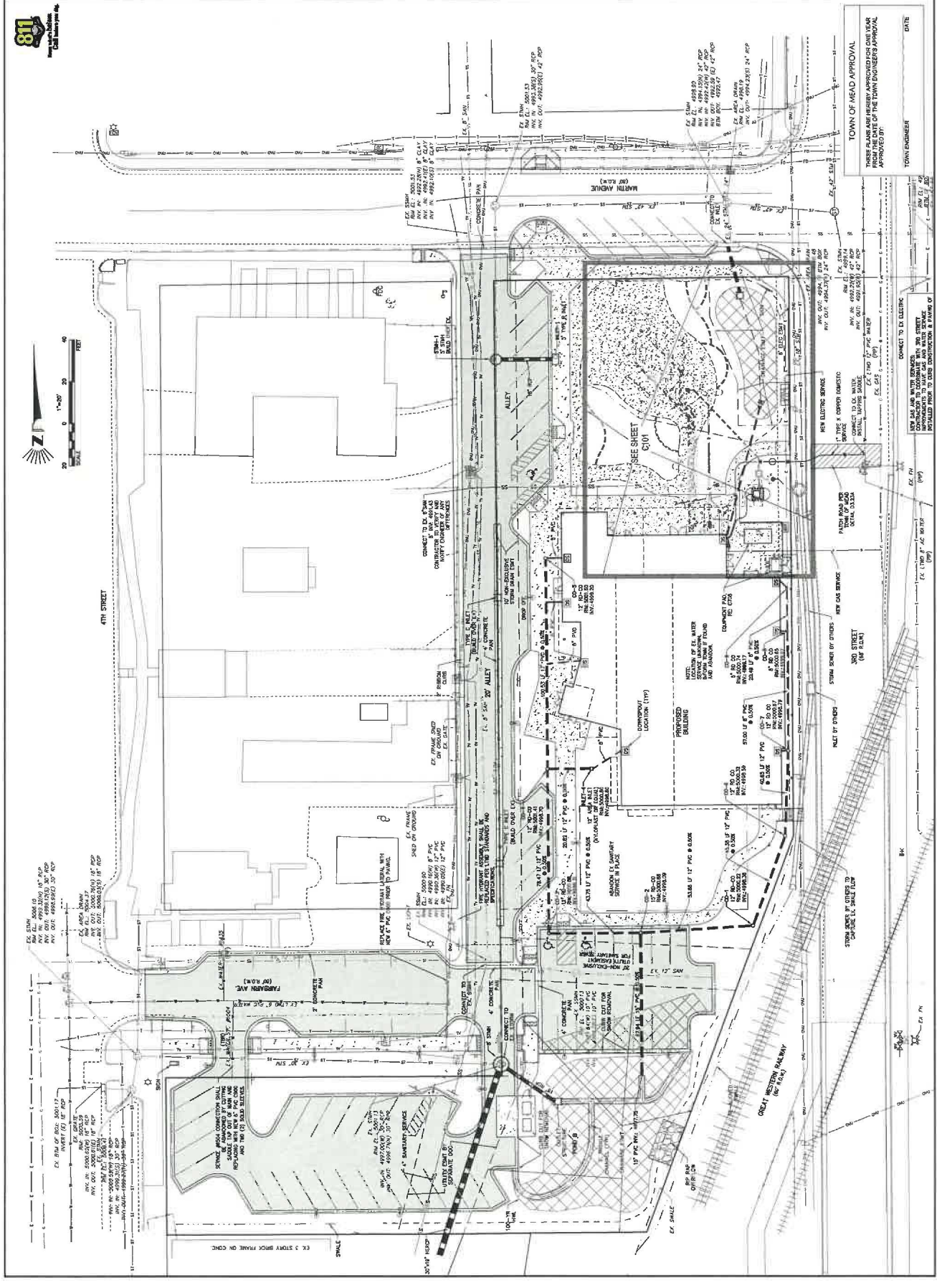
SITE PLAN



ISSUE:
SITE PLAN SUBMITTAL
DATE:
07/21/23
REVISIONS:
11/10/23
03/18/24

DRAWN BY:
MF
REVIEWED BY:
CP
PROJECT #:
C/P
DRAWING TITLE:
SITE PLAN

SHEET #:
A005.
SITE PLAN
SHEET #
5 of 32



ESSENZA ARCHITECTURE
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 CHICAGO, IL 60607
 WWW.ESSENZAARCH.COM
 PH: 312.467.1111

MPD ENGINEERING
 1500 BROADWAY AVE.
 FORT LAUDERDALE, FL 33304
 WWW.MPDENGINEERING.COM

CONTRACT FOR CONSTRUCTION

MEAD COMMUNITY CENTER
 401 3RD ST. MEAD, CO 80542

UTILITY PLAN
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



REVISIONS:
 07.21.23 SITE PLAN SUBMITTAL
 11.10.23
 03.18.24

DRAWN BY:
 PROJECT:
 REVIEWED BY:

UTILITY PLAN

SHEET # C100
 SUBSET # 6 of 32

TOWN OF MEAD APPROVAL
 THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY: _____ DATE: _____

TOWN ENGINEER

CONNECT TO EX. WATER MAIN
 12" DIAM. 15' DEPTH
 EX. WATER MAIN 12" DIAM. 15' DEPTH

CONNECT TO EX. WATER MAIN
 12" DIAM. 15' DEPTH
 EX. WATER MAIN 12" DIAM. 15' DEPTH

CONNECT TO EX. WATER MAIN
 12" DIAM. 15' DEPTH
 EX. WATER MAIN 12" DIAM. 15' DEPTH

CONNECT TO EX. WATER MAIN
 12" DIAM. 15' DEPTH
 EX. WATER MAIN 12" DIAM. 15' DEPTH

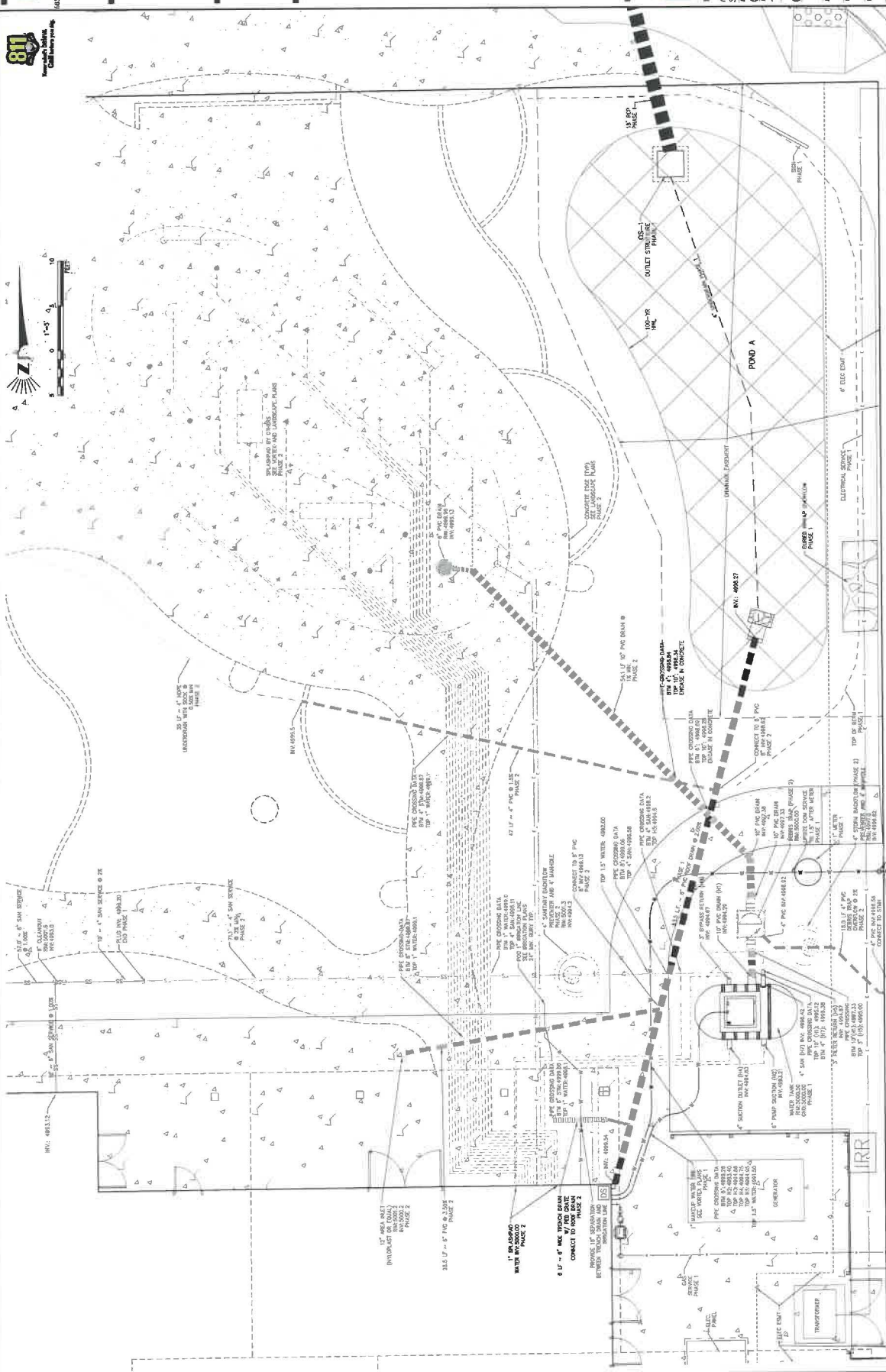
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CONNECT TO EX. WATER MAIN
 12" DIAM. 15' DEPTH
 EX. WATER MAIN 12" DIAM. 15' DEPTH



ESSENZA ARCHITECTURE
 183 S. ARTHUR AVE. UNIT 8 A & B
 LOUISVILLE, CO 80207
 WWW.ESSENZAARCH.COM
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MPD ENGINEERING
 1800 LAUREL AVE.
 BOULDER, CO 80501
 WWW.MPDENGINEERING.COM

MEAD COLORADO
 401 3RD ST. MEAD, CO 80542

ISSUE: SITE PLAN SUBMITTAL
 DATE: 07.21.13
 REVISIONS: 11.10.23
 03.18.24
 DRAWN BY:
 REVIEWED BY:
 PROJECT #:
 DRAWING TITLE: UTILITY PLAN

MEAD COMMUNITY CENTER
 401 3RD ST. MEAD, CO 80542

TOWN OF MEAD APPROVAL
 PLEASE PRINT THE REVIEW APPROVALS FOR THE TOWN
 FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL
 APPROVED BY: _____
 TOWN ENGINEER _____ DATE _____

MEAD COMMUNITY CENTER
 401 3RD ST. MEAD, CO 80542

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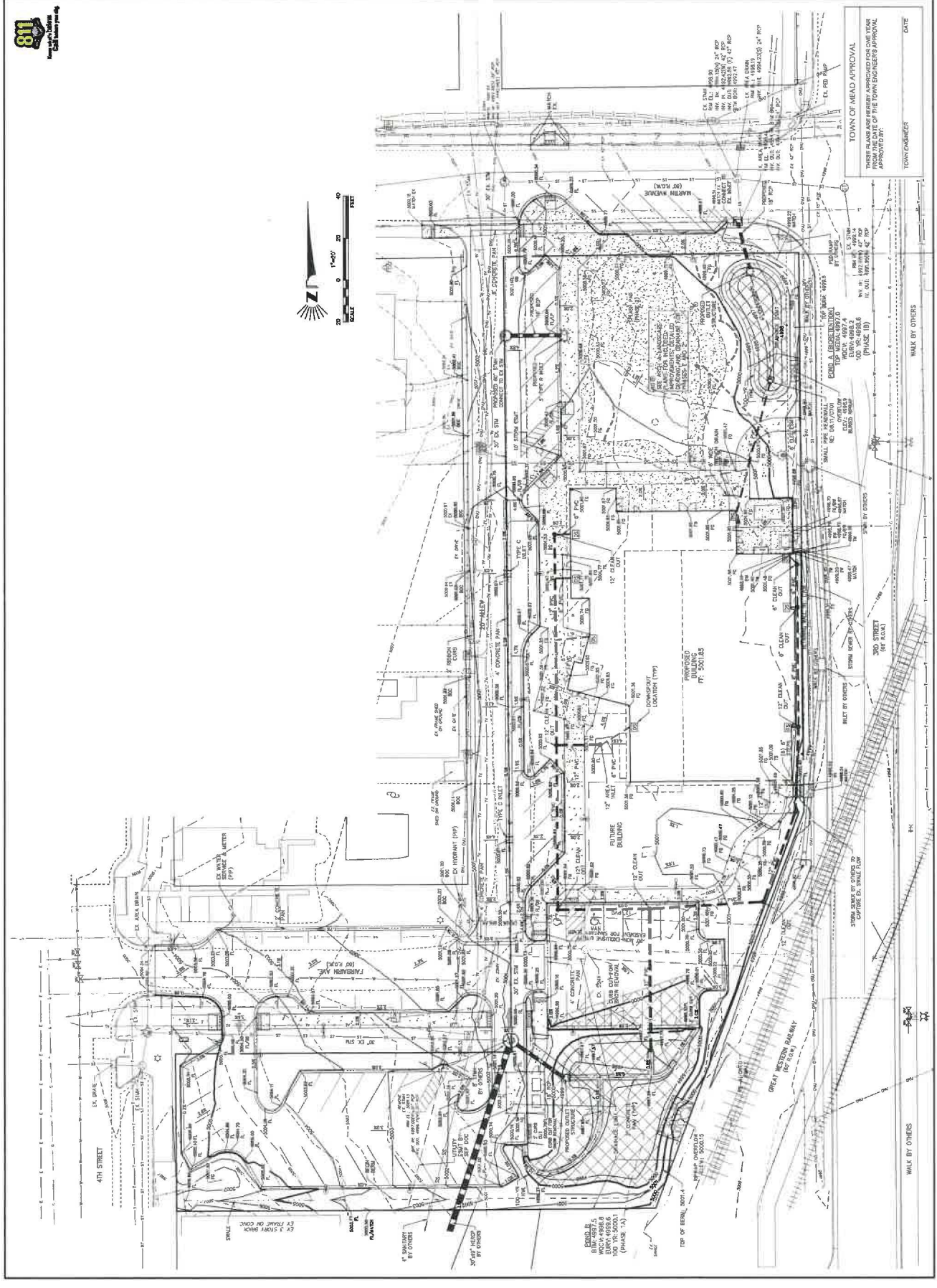
MPD ENGINEERING INC
 1800 DUNLAP AVE.
 FORT COLLINS, CO 80504
 WWW.MPDENGINEERING.COM

MEAD COMMUNITY CENTER
 401 3RD ST. MEAD, CO 80542
 GRADING AND DRAINAGE PLAN
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



REVISION: SITE PLAN SUBMITTAL
 DATE: 07.21.23
 REVISIONS: 11.10.23
 03.18.24
 DRAWN BY: DSS
 CHECKED BY: MPD
 PROJECT #: 1934
 DRAWING TITLE: GRADING PLAN & DRAINAGE PLAN

SHEET #: C200
 SHEETS: 8 of 32



TOWN OF MEAD APPROVAL
 THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR
 FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL
 APPROVED BY: [Signature]
 TOWN ENGINEER

DATE

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GENERAL NOTES

1. THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
2. DRAWINGS ARE INTENDED TO BE PRINTED ON 24 X 36 PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
3. VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
4. THE CONTRACTOR SHALL PROVIDE A STRIKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
5. CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
6. CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-COMFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
9. UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
10. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE, TO INCLUDE RE-INSTALLATION OF SOO OR OTHER LANDSCAPE MATERIALS, TRENCHES TO BE FILLED AND COMPACTED IN LIFTS AS NEEDED TO PROVIDE SUITABLE FINISH GRADE FOR INSTALLATION OF LANDSCAPE WITHIN TOLERANCES AS PROVIDED ON THE PLANS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
13. SIGHT TRIANGLES AND SIGHT LINES SHALL BE UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS.

14. NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
15. COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
16. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNWANTED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
18. THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
19. MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
20. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
21. THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK DONE AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
22. THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
23. THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNATED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
24. THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
25. THE USE OF REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW OR HAY BALES OR TO SUPPORT SILT FENCING UNDER ANY EROSION CONTROL MEASURE IS PROHIBITED.
26. LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.

LAYOUT NOTES

1. WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE DIMENSIONS.
2. CURVED FLATWORK EDGES SHALL BE INTENDED TO BE CONSTRUCTED WITH SMOOTH FLOWING CURVES, ANYTHING OTHER THAN SMOOTH FLOWING CURVES WILL BE REJECTED.
3. THE CONTRACTOR SHALL OBTAIN, AT THEIR EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
4. THE CONTRACTOR SHALL REVIEW WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT ALL STAKING PRIOR TO SETTING FORMS OR COMPLETING FLATWORK AND PERFORM MINOR MODIFICATIONS AS REQUIRED TO ACHIEVE PROPER DRAINAGE OR ACCESSIBILITY AS REQUIRED FOR THE DESIGN, AT NO ADDITIONAL COST TO THE OWNER. ALL FORMS TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT OF FLATWORK.
5. THE CONTRACTOR SHALL INSTALL SLEEVING FOR IRRIGATION IMPROVEMENTS PRIOR TO INSTALLING CONCRETE FLATWORK. REFER TO IRRIGATION PLANS.
6. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE LANDSCAPE ARCHITECT PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.

TOWN OF MEAD STANDARDS AND CONSTRUCTION NOTES

1. ALL WORK SHALL BE CONSTRUCTED TO THE TOWN OF MEAD DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS. THESE PLANS HAVE BEEN REVIEWED BY THE TOWN OF MEAD FOR CONCEPT ONLY AND GENERAL CONFORMANCE WITH THE TOWN'S STANDARDS AND SPECIFICATIONS. THE REVIEW BY THE TOWN OF MEAD DOES NOT IMPLY RESPONSIBILITY BY THE TOWN OF MEAD OR THE TOWN ENGINEER FOR ACCURACY AND CORRECTNESS OF THE PLANS OR CALCULATIONS. FURTHERMORE, THE REVIEW DOES NOT IMPLY THAT QUANTITIES OF ITEMS ARE THE FINAL QUANTITIES REQUIRED. THE REVIEW SHALL NOT BE CONSIDERED AN INDICATION OF ACCEPTANCE OR FINANCIAL RESPONSIBILITY OF THE TOWN OF MEAD FOR ADDITIONAL QUANTITIES OF ITEMS SHOWN THAT MAY BE REQUIRED DURING THE CONSTRUCTION PHASE. THIS APPROVAL IS FOR CONFORMANCE TO THESE STANDARDS AND SPECIFICATIONS AND OTHER TOWN REQUIREMENTS. THE DESIGN AND CONCEPT REMAINS THE RESPONSIBILITY OF THE PROFESSIONAL ENGINEER OR LANDSCAPE PROFESSIONAL.

PHASING NOTES

1. 1 YEAR LANDSCAPE MAINTENANCE TO BE PROVIDED SEPARATELY BY PHASE INITIATED AT FINAL ACCEPTANCE.

PAVEMENT SCHEDULE - PHASE 2

CODE	DESCRIPTION	MANUFACTURER	COLOR / FINISH	SIZE / DIMENSIONS	DETAIL	NOTES
P-01	CONCRETE PAVING - TYPE 1	PER CIVIL	STANDARD GREY, MEDIUM BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAVEL	PER CIVIL	6 / LS-503	REFER TO CIVIL FOR STANDARD PAVING DETAIL AND SPECIFICATION
P-02	CONCRETE PAVING - TYPE 2	COLORADO HARDSCAPES (OR APPROVED EQUAL) TEL: (303) 750-8200	AZURE SPRINKLE, SANDSCAPE REFINED FINISH	PER CIVIL	6 / LS-503	CONTRACTOR TO PROVIDE 5'X5' CONCRETE MOCK UP FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL PRIOR TO CONSTRUCTION
P-03	CONCRETE PAVING - TYPE 3	DAVIS COLORS (OR APPROVED EQUAL) TEL: (303) 750-8200	SILVERSMOKE IRON OXIDE, MEDIUM BROOM FINISH	PER CIVIL	6 / LS-503	CONTRACTOR TO PROVIDE 5'X5' CONCRETE MOCK UP FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL PRIOR TO CONSTRUCTION
P-04	CONCRETE PAVING - TYPE 4	COLORADO HARDSCAPES (OR APPROVED EQUAL) TEL: (303) 750-8200	CARBIDE, SANDSCAPE FINISH	PER CIVIL	6 / LS-503	CONTRACTOR TO PROVIDE 5'X5' CONCRETE MOCK UP FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL PRIOR TO CONSTRUCTION

MATERIALS SCHEDULE - PHASE 1

CODE	DESCRIPTION	PRODUCT NAME	MANUFACTURER	COLOR / FINISH	SIZE / DIMENSIONS	DETAIL	NOTES
M-01	WOOD MULCH	WASHINGTON CEDAR MULCH	PIONEER SAND AND GRAVEL (OR APPROVED EQUAL)	WASHINGTON CEDAR	4" DEPTH	2, 3, 4 / LP-501	REFER TO LANDSCAPE PLANS FOR LOCATIONS
M-02	ROCK MULCH	RIVER ROCK	PIONEER SAND AND GRAVEL (OR APPROVED EQUAL)	GLACIER WHITE	1-1/2", 4" DEPTH	2, 3 / LP-501	REFER TO LANDSCAPE PLANS FOR LOCATIONS
M-05	SANDSTONE SLAB SEATING	BUFF BOULDER	ARKINS PARK STONE (OR APPROVED EQUAL) TEL: (970) 863-1920	BUFF	PER DETAIL	1 / LS-501	CONTRACTOR TO SUBMIT COLOR PHOTO SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO SITE
M-06	LANDSCAPE BOULDER	BUFF BOULDER	ARKINS PARK STONE (OR APPROVED EQUAL) TEL: (970) 863-1920	BUFF	PER DETAIL	1 / LP-501	CONTRACTOR TO SUBMIT COLOR PHOTO SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO SITE

PAVEMENT SCHEDULE - PHASE 1

CODE	DESCRIPTION	MANUFACTURER	COLOR / FINISH	SIZE / DIMENSIONS	DETAIL	NOTES
P-01	CONCRETE PAVING - TYPE 1	PER CIVIL	STANDARD GREY, MEDIUM BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAVEL	PER CIVIL	6 / LS-503	REFER TO CIVIL FOR STANDARD PAVING DETAIL AND SPECIFICATION
P-02	CONCRETE PAVING - TYPE 2	COLORADO HARDSCAPES (OR APPROVED EQUAL) TEL: (303) 750-8200	AZURE SPRINKLE, SANDSCAPE REFINED FINISH	PER CIVIL	6 / LS-503	CONTRACTOR TO PROVIDE 5'X5' CONCRETE MOCK UP FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL PRIOR TO CONSTRUCTION

MATERIALS SCHEDULE - PHASE 2

CODE	DESCRIPTION	PRODUCT NAME	MANUFACTURER	COLOR / FINISH	SIZE / DIMENSIONS	DETAIL	NOTES
M-02	ROCK MULCH	RIVER ROCK	PIONEER SAND AND GRAVEL (OR APPROVED EQUAL)	GLACIER WHITE	1-1/2", 4" DEPTH	2, 3 / LP-501	REFER TO LANDSCAPE PLANS FOR LOCATIONS
M-03	CRUSHER FINES	CRUSHER FINES	PIONEER SAND AND GRAVEL (OR APPROVED EQUAL)	GREY BREEZE	3/8" +	1 / LS-502	INSTALL AND COMPACT IN 2" LIFTS WITH STABILIZER
M-04	COBBLE	COBBLE	PIONEER SAND AND GRAVEL (OR APPROVED EQUAL)	GLACIER WHITE	2"-4"		REFER TO LANDSCAPE PLANS FOR LOCATIONS
M-05	SANDSTONE SLAB SEATING	BUFF BOULDER	ARKINS PARK STONE (OR APPROVED EQUAL) TEL: (970) 863-1920	BUFF	PER DETAIL	1 / LS-501	CONTRACTOR TO SUBMIT COLOR PHOTO SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO SITE
M-06	LANDSCAPE BOULDER	BUFF BOULDER	ARKINS PARK STONE (OR APPROVED EQUAL) TEL: (970) 863-1920	BUFF	PER DETAIL	1 / LP-501	CONTRACTOR TO SUBMIT COLOR PHOTO SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO SITE
M-07	WATER FEATURE BOULDER	RIVER ROUND BOULDER	PIONEER SAND AND GRAVEL (OR APPROVED EQUAL)	GRAY GRANITE	PER DETAIL	5 / LS-503	CONTRACTOR TO SUBMIT COLOR PHOTO SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO SITE
M-08	WATER FEATURE SOURCE BOULDER	BUFF BOULDER	ARKINS PARK STONE (OR APPROVED EQUAL) TEL: (970) 863-1920	BUFF	48" WIDTH X 48" LENGTH X 30" HEIGHT	1 / LS-504	CONTRACTOR TO SUBMIT COLOR PHOTO SAMPLE TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO SITE



TOWN OF MEAD APPROVAL
 THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL.
 APPROVED BY: _____
 TOWN ENGINEER DATE

ESSENZA ARCHITECTURE
 683 S ANTHONY AVE, UNIT 12-B
 DENVER, CO 80202
 (303) 733-5560
 (773) 444-0075 (F) (773) 444-0075 (C)

NORRIS DESIGN
 LANDSCAPE ARCHITECTURE
 1000 W. 10TH AVE. SUITE 100
 DENVER, CO 80202
 (303) 733-5560
 (773) 444-0075 (F) (773) 444-0075 (C)

NORRIS-DESIGN@GMAIL.COM

NOT FOR CONSTRUCTION

MEAD COMMUNITY CENTER
 401 3RD ST. MEAD, CO 80513

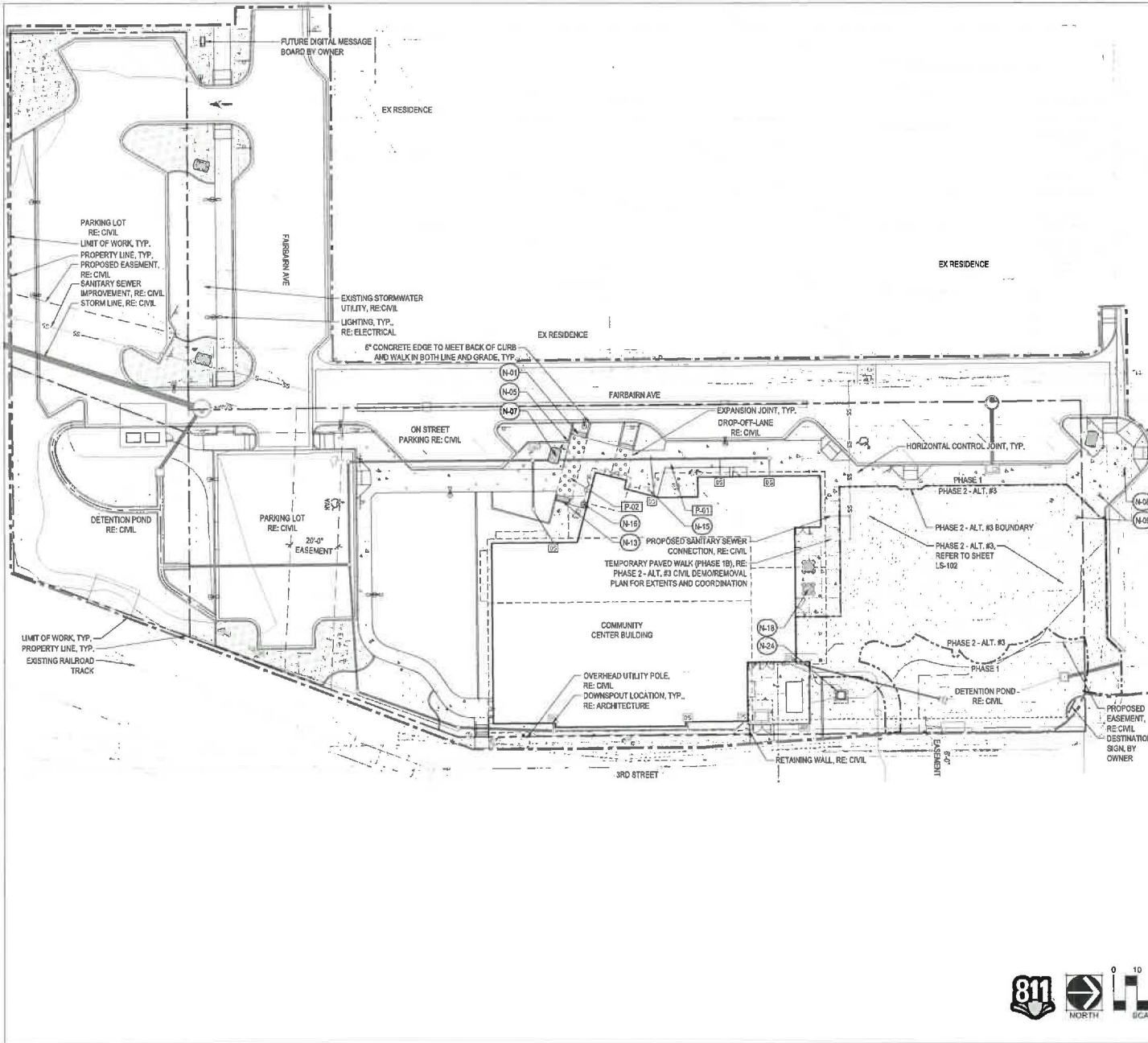
USE LOCAL COMMUNITY CENTER RESOURCES IN THE TOWN OF MEAD (CITY OF MEAD) AT ALL TIMES



ASUP SITE PLAN SUBMITTAL
 DATE: 18 MARCH, 2024
 REVISIONS:

DRAWN BY: KS/SJ/EN
 REVIEWED BY: KS/RH
 PROJECT #: 2206
 DRAWING TITLE: LANDSCAPE SITE NOTES

SHEET #: **LS-001**
 SITE PLAN SHEET # **09 of 32**



LEGEND

---	LIMIT OF WORK
---	PHASE LINE
---	PROPERTY LINE
---	CONCRETE EDGE
---	EASEMENT LINE
---	EXPANSION JOINT (1/2")
---	HORIZONTAL CONTROL JOINT
●	BENCH
●	WASTE RECEPTACLE
⊕	BIKE RACK
⊕	PICNIC TABLE - TYPE B
■	SANDSTONE SLAB SEATING
■	BEAN POT PLANTER
□	CODE
□	DESCRIPTION
□	P-01 CONCRETE PAVING - TYPE 1
□	P-02 CONCRETE PAVING - TYPE 2

KEY NOTES

CODE	DESCRIPTION	DETAIL
N-01	SANDSTONE SLAB SEATING	1 / LS-501
N-05	CONCRETE EDGE	2 / LS-502
N-07	RE-PURPOSED BEAN POT PLANTER	4 / LS-503
N-08	RE-PURPOSED CONVEYOR / POLE COLUMN	6 / LS-502
N-09	FESTOON LIGHT POLE, PVC SLEEVE, CONDUIT, STRUCTURAL CAISSON, AND POST TO BE INSTALLED IN PHASE 1, FESTOON LUMINAIRE TO BE INSTALLED IN PHASE 2 - ALT. #3	7 / LS-502
N-13	BENCH	1 / LS-603
N-15	BIKE RACK	3 / LS-602
N-16	WASTE RECEPTACLE	7 / LS-603
N-18	PICNIC TABLE - TYPE B	5 / LS-502
N-24	WATER CONTAINMENT SYSTEM PHASE 1, REFER TO VORTEX	

ESSENZA ARCHITECTURE
 645 S. ARTHUR AVE., SUITE 10-8
 COLO SPRING, CO 80507
 PH: 303.952.5600
 WWW.ESSENZAARCH.COM

NORRIS DESIGN
 PROJECT ARCHITECTS
 1225 W. PUEBLO AVE., SUITE 100
 FORT COLLINS, CO 80504
 WWW.NORRIS-DESIGN.COM

NOT FOR CONSTRUCTION

MEAD COMMUNITY CENTER
 401 3RD ST., MEAD, CO 80513

LOT 1, MEAD COMMUNITY CENTER SUBDIVISION (FORMERLY PLAT TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO)

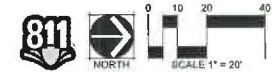


ISSUE:
 SITE PLAN SUBMITTAL
 DATE:
 18 MARCH, 2024
 REVISIONS:

DRAWN BY:
 KS/SLEJEN
 REVIEWED BY:
 KS/RH
 PROJECT #:
 2206
 DRAWING TITLE:

PHASE 1
 LANDSCAPE SITE PLAN

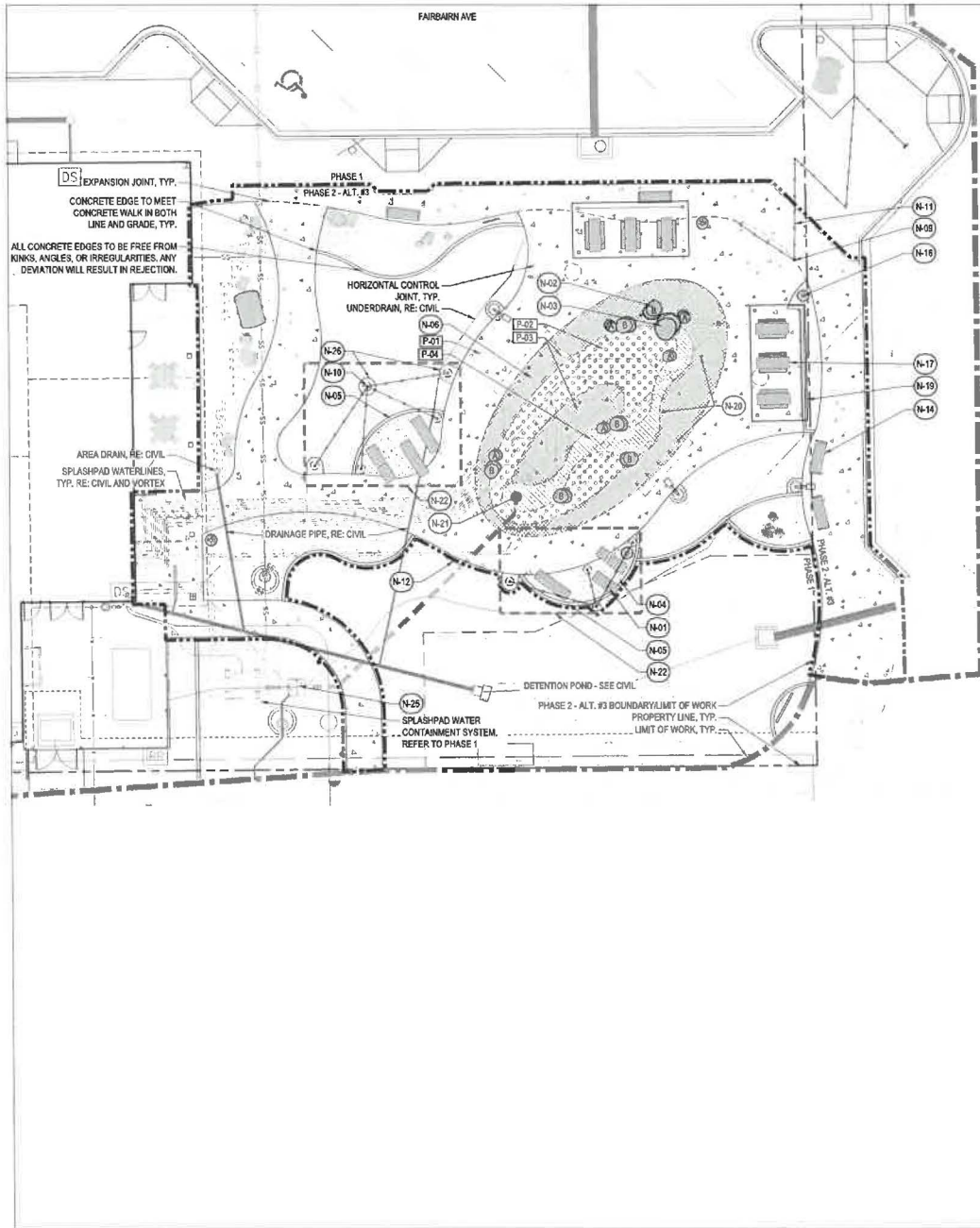
SHEET #
LS-101
 SITE PLAN
 SHEET #
 10 of 32



TOWN OF MEAD APPROVAL

THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:

TOWN ENGINEER _____ DATE _____



LEGEND

	LIMIT OF WORK
	PHASE LINE
	PROPERTY LINE
	CONCRETE EDGE
	FESTOON LIGHTS
	EXPANSION JOINT (1/2")
	HORIZONTAL CONTROL JOINT
	BACKLESS BENCH
	WASTE RECEPTACLE
	PICNIC TABLE - TYPE A
	REGULATORY SIGNAGE
	SANDSTONE SLAB SEATING
	BEAN POT PLANTER
	CRUSHER FINES
	WATER FEATURE BOULDER
	WATER FEATURE SOURCE BOULDER
	CONCRETE PAVING - TYPE 1
	CONCRETE PAVING - TYPE 2
	CONCRETE PAVING - TYPE 3
	CONCRETE PAVING - TYPE 4

KEY NOTES

CODE	DESCRIPTION	DETAIL
N-01	SANDSTONE SLAB SEATING	1 / LS-501
N-02	WATER FEATURE BOULDER	5 / LS-503
N-03	WATER FEATURE SOURCE BOULDER	1 / LS-504
N-04	CRUSHER FINES PAVING	1 / LS-502
N-05	CONCRETE EDGE	2 / LS-502
N-06	SPLASHPAD CONCRETE PAVING	2 / LS-504
N-09	FESTOON LIGHT POLE, PVC SLEEVE, CONDUIT, STRUCTURAL CHASSIS, AND POST TO BE INSTALLED IN PHASE 1. FESTOON LUMINAIRE TO BE INSTALLED IN PHASE 2 - ALT. #3	7 / LS-502
N-10	FESTOON LIGHT POLE TO BE INSTALLED IN PHASE 2 - ALT. #3	7 / LS-502
N-11	FESTOON LUMINAIRE TO BE INSTALLED IN PHASE 2 - ALT. #3	7 / LS-502
N-12	REGULATORY SIGNAGE	4 / LS-504
N-14	BACKLESS BENCH	2 / LS-503
N-16	WASTE RECEPTACLE	7 / LS-503
N-17	PICNIC TABLE - TYPE A	3 / LS-503
N-19	SHADE STRUCTURE	3 / LS-504
N-20	SPLASHPAD SPRAY HEADS, REFER TO VORTEX SPLASHPAD LAYOUT DRAWING	
N-21	PLAYSAFE DRAIN, REFER TO VORTEX SPLASHPAD LAYOUT DRAWING	
N-22	SANDSTONE SLAB LAYOUT	3 / LS-501
N-25	DEBRIS TRAP, PHASE 2 - ALT. #3, REFER TO VORTEX LIGHT POLE BASE	
N-26	LIGHT POLE BASE	4 / LS-501

TOWN OF MEAD APPROVAL

THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL.

TOWN ENGINEER _____ DATE _____



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 145 S ARTHUR AVE., SUITE 1208
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 WWW.ESSENZAARCHITECT.COM

NORRIS DESIGN
 PEOPLE + PLACES
 1110 W. COLLEGE BLVD., SUITE 100
 DENVER, CO 80202
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 WWW.NORRISDESIGN.COM

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MEAD COMMUNITY CENTER
 401 3RD ST. MEAD, CO 80513

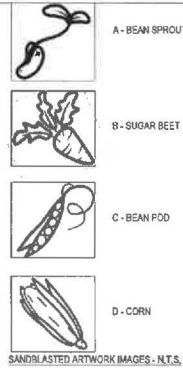
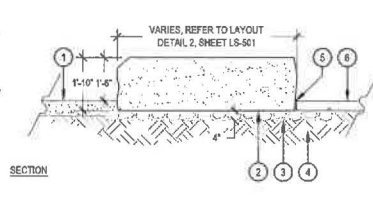
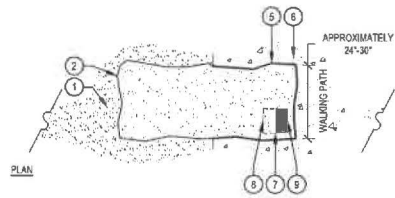
SEE MEAD COMMUNITY CENTER SUBMITTAL DRAWING IN THE TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

MEAD COLORADO

#3996:
 SITE PLAN SUBMITTAL
 DATE:
 18 MARCH, 2024
 REVISIONS:

DRAWN BY:
 KS/SL/EN
 REVIEWED BY:
 KS/RH
 PROJECT #:
 2206
 DRAWING TITLE: PHASE 2 LANDSCAPE SITE PLAN

SHEET # **LS-102**
 SITE PLAN SHEET # **11 of 32**



SANDBLASTED ARTWORK IMAGES - N.T.S.

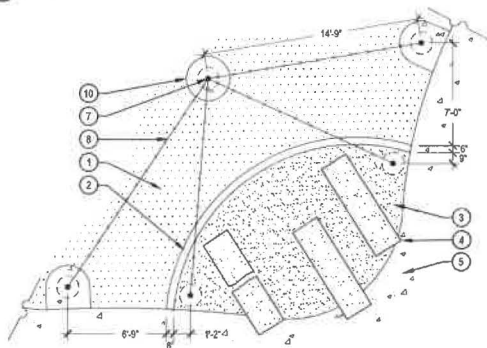
- 1 ADJACENT CRUSHER FINES, REFER TO DETAIL 1, SHEET LS-502
- 2 SANDSTONE SLAB, REFER TO MATERIAL SCHEDULE, SHEET LS-001. ALL SIDES SHALL HAVE A NATURAL BROKEN FACE. TOP FACE SHALL BE SET LEVEL. SET STONE PRIOR TO POURING HANDSCAPE. PROTECT STONE DURING POURING PROCESS
- 3 COMPACTED AGGREGATE
- 4 SUBGRADE COMPACTED TO 85% STANDARD PROCTOR DENSITY
- 5 1/2" MAXIMUM CAULKED AND SEALED EXPANSION JOINT, COLOR TO MATCH CONCRETE
- 6 ADJACENT CONCRETE PAVING, REFER TO DETAIL 6, SHEET LS-503
- 7 SANDBLASTED ARTWORK LOCATION, TO BE LOCATED ON CORNER AND TOP OF SLAB NEAREST TO THE ADJACENT CONCRETE WALK
- 8 TOP OR ARTWORK ORIENTATION
- 9 BOTTOM OF ARTWORK ORIENTATION



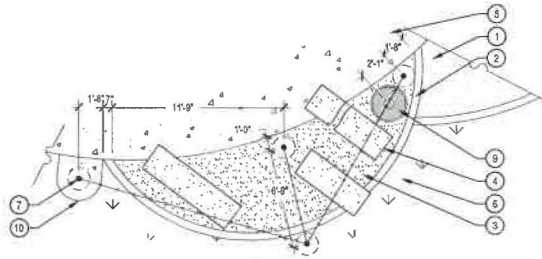
- NOTES:
1. CONTRACT LANDSCAPE ARCHITECT TO SELECT STONES PRIOR TO DELIVERY.
 2. (H) 10X 10" ARTWORK IMAGES TO BE SANDBLASTED 1/4" DEPTH ON SANDSTONE BOULDERS, AND STAINED WITH UV RESISTANT BLACK LITRICHROMIS STAIN.
 3. ARTWORK SHALL BE PROVIDED BY LANDSCAPE ARCHITECT FOR COORDINATION WITH SANDBLAST CONTRACTOR, CONTRACTOR TO PROVIDE FULL SCALE MOCK UP OF (1) ART IMAGE PRIOR TO INSTALLATION.
 4. ALL SIDES OF STONE SLAB SHALL HAVE A NATURAL BROKEN FACE. TOP OF STONE SLAB SHALL BE FLAT. CONTACT LANDSCAPE ARCHITECT/OWNER TO SELECT STONES. ANY AND ALL DAMAGED / SCARIFIED PORTIONS SHALL BE PLACED FACE DOWN.
 5. REFER TO DETAIL 3, SHEET LS-501 FOR SANDSTONE SLAB SEATING AND ARTWORK LAYOUT.

1 SANDSTONE SLAB SEATING
(PHASE 1A AND PHASE 2 - ALT. #3)

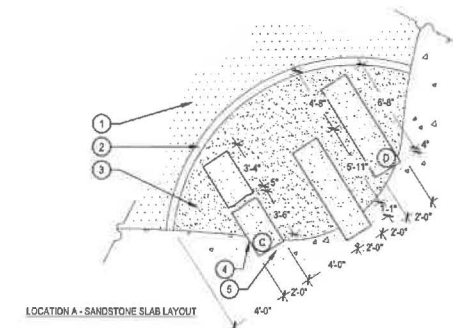
SCALE: 1/2" = 1'-0"



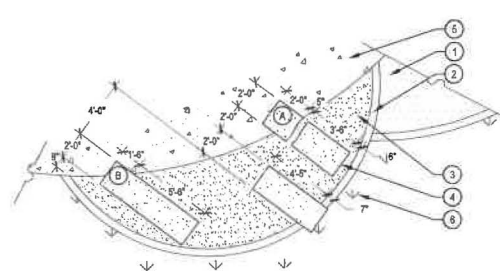
LOCATION A - FESTOON LIGHT LAYOUT



LOCATION B - FESTOON LIGHT LAYOUT



LOCATION A - SANDSTONE SLAB LAYOUT



LOCATION B - SANDSTONE SLAB LAYOUT

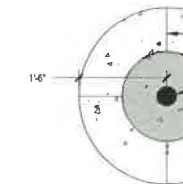
- 1 ADJACENT TURF, REFER TO PLAN
 - 2 CONCRETE EDGE, REFER TO DETAIL 2, SHEET LS-502
 - 3 ADJACENT CRUSHER FINES, REFER TO DETAIL 1, SHEET LS-502
 - 4 SANDSTONE SLAB SEATING, REFER TO DETAIL 1, SHEET LS-501
 - 5 ADJACENT CONCRETE PAVING, REFER TO DETAIL 6, SHEET LS-503
 - 6 ADJACENT NATIVE SEED, REFER TO PLAN
 - 7 FESTOON LIGHT POLE, REFER TO DETAIL 7, SHEET LS-502
 - 8 FESTOON LIGHTING
 - 9 WASTE RECEPTACLE, REFER TO DETAIL 7, SHEET LS-502
 - 10 LIGHT POLE BASE, REFER TO DETAIL 4, SHEET LS-501
-
- A SANDBLAST IMAGE A, REFER TO DETAIL 1, SHEET LS-501 FOR ARTWORK
 - B SANDBLAST IMAGE B, REFER TO DETAIL 1, SHEET LS-501 FOR ARTWORK
 - C SANDBLAST IMAGE C, REFER TO DETAIL 1, SHEET LS-501 FOR ARTWORK
 - D SANDBLAST IMAGE D, REFER TO DETAIL 1, SHEET LS-501 FOR ARTWORK

3 SANDSTONE SLAB LAYOUT
(PHASE 2 - ALT. #3)

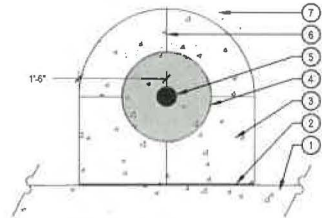
SCALE: 1/4" = 1'-0"

2 SITE AMENITY SURFACE MOUNT
(PHASE 2 - ALT. #3)

SCALE: 1" = 1'-0"



ADJACENT TO IRRIGATED TURF



ADJACENT TO CONCRETE WALK

- NOTES:
1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.

4 LIGHT POLE BASE
(PHASE 2 - ALT. #3)

SCALE: 1" = 1'-0"

- 1 SITE AMENITY MOUNTING BRACKET OR PRE-DRILLED MOUNTING POINT OF CONNECTION, USE MANUFACTURER RECOMMENDED MOUNTING HARDWARE TO SECURE TO CONCRETE FOOTER
- 2 CRUSHER FINES, NATIVE SEED, OR LANDSCAPE BED, REFER TO LANDSCAPE PLAN
- 3 CONCRETE FOOTER WITH (1) #4 REBAR, SPACE FOOTERS TO CORRESPOND WITH SPECIFIC FURNITURE PIECE; (1) CONCRETE FOOTER PER SITE FURNISHING CONNECTION REQUIRED. 1" CHAMFER ON ALL EXPOSED CORNERS
- 4 COMPACTED SUBGRADE TO 85% STANDARD PROCTOR DENSITY

FOR WASTE RECEPTACLES IN LANDSCAPE BED, NATIVE SEED, OR CRUSHER FINES

- NOTES:
1. AFTER SIGNIFICANT SETTLING TIME, ALL-THREAD ROD(S) TO BE CUT FLUSH.

- 1 ADJACENT CONCRETE WALK, SEE PLANS
- 2 EXPANSION JOINT
- 3 CONCRETE PAVING
- 4 FOAM JOINT WITH SEALANT
- 5 FESTOON LIGHT POLE OR SITE LIGHT POLE, REFER TO PLANS AND DETAIL 7, SHEET LS-502
- 6 CONTROL JOINT
- 7 ADJACENT LANDSCAPE, SEE PLANS

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MEAD COMMUNITY CENTER
401 3RD ST. MEAD, CO 80513

SEE A. 2020 CONSTRUCTION PERMITS, PERMITS PLAN 15.1
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

MEAD COLORADO

ISSUE:
SITE PLAN SUBMITTAL
DATE:
18 MARCH, 2024
REVISIONS:

DRAWN BY:
KS/SJ/EN
REVIEWED BY:
KS/RH
PROJECT #:
2206
DRAWING TITLE:
LANDSCAPE SITE DETAILS

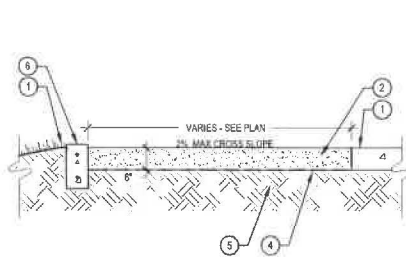
SHEET #:
LS-501
SITE PLAN
SHEET #
12 of 32



TOWN OF MEAD APPROVAL

THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:

TOWN ENGINEER _____ DATE _____

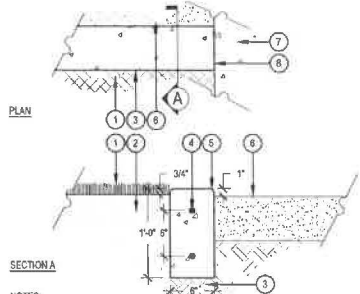


- 1 LANDSCAPE AREA OR FLUSH WITH ADJACENT PAVING
- 2 CRUSHER FINES WITH STABILIZER, REFER TO MATERIAL SCHEDULE, SHEET LS-501, SLOPE TO DRAIN, SEE GRADING PLANS
- 3 ADJACENT CONCRETE PAVING, REFER TO DETAIL 6, SHEET LS-503
- 4 GEOTEXTILE FABRIC, SECURE W/ FABRIC STAKES AT EACH EDGE, 5' ON CENTER AND WRAP AT EDGES
- 5 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- 6 CONCRETE EDGE, REFER TO DETAIL 2, SHEET LS-502

NOTES:
 1. COMPACT CRUSHER FINES WET. COMPACT TO 95% STANDARD PROCTOR DENSITY.
 2. USE A SMALL 4" RIDING ROLLER TO COMPACT.
 3. CROSS SLOPE AT 1-2% WITH GRADE WHERE TOPOGRAPHY DICTATES. PROVIDE SMOOTH TRANSITION TO ADJACENT CONCRETE WALK.
 4. APPLY STABILIZER/TACKIFIER TO CRUSHER FINES SURFACE.

1 CRUSHER FINES PAVING
(PHASE 2 - ALT. #3)

SCALE: 3/4" = 1'-0"

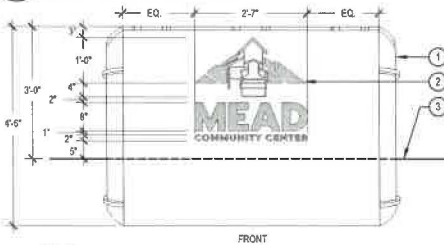


- 1 ADJACENT LANDSCAPE AREA
- 2 UNDISTURBED GRADE
- 3 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- 4 #4 REBAR CONTINUOUS
- 5 CONCRETE CURB WITH LIGHT BROOM FINISH, 1/2" RADIUS ON ALL EXPOSED EDGES
- 6 ADJACENT CRUSHER FINES, REFER TO DETAIL 1, SHEET LS-502
- 7 ADJACENT CONCRETE WALK OR BACK OF CURB
- 8 CURB TO MEET GRADE AT BACK OF CURB, IN BOTH LINE AND GRADE

NOTES:
 1. PROVIDE CONTROL JOINTS AT 8' ON CENTER AND EXPANSION JOINTS AT 6'-6" ON CENTER.
 2. MINIMUM BURY DEPTH ON ALL REBAR SHALL BE 2-1/2", UNLESS OTHERWISE NOTED.
 3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.
 4. ALL CONCRETE EDGES TO BE FREE FROM KINKS, ANGLES, OR IRREGULARITIES. ANY DEVIATION WILL RESULT IN REJECTION.

2 CONCRETE EDGE
(PHASE 1A, PHASE 1B, AND PHASE 2 - ALT. #3)

SCALE: 1/2" = 1'-0"

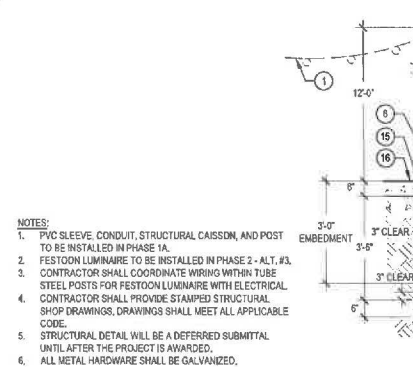


- 1 RE-PURPOSED BEAN POT PLANTER, REFER TO DETAIL 4, SHEET LS-503
- 2 BEAN POT PLANTER VINYL ARTWORK, COLOR: WHITE
- 3 FINISH GRADE

NOTES:
 1. PLANTER TO BE PRE-PROCESSED BY SANDBLASTING EXISTING PAINT AND RUST, PRESSURE CLEANED, AND PREPPED WITH A PERMANENT PREMIUM SEMI-GLOSS CLEAR COAT PRIOR TO INSTALLATION OF ARTWORK. CLEAR COAT TO BE APPLIED TO INTERIOR AND EXTERIOR OF PLANTER. CONTRACTOR TO PRE-DRILL DRAINAGE HOLES PRIOR TO SANDBLAST PROCESS. FILE EDGES OF DRAINAGE HOLES TO ENSURE SMOOTH EDGES.
 2. APPLY ARTWORK TO THE FRONT OF THE BEAN POT PLANTER. FRONT OF PLANTER SHALL FACE ADJACENT CONCRETE WALKS, REFER TO PLANS FOR LOCATIONS.
 3. CONTRACTOR SHALL PROVIDE VINYL WRAP ARTWORK. ARTWORK MFG. TO BE SUPPLIED BY THE ARTWORKS UNLIMITED, LLC, TEL: 303-799-7111, OR APPROVED EQUAL. LANDSCAPE ARCHITECT TO PROVIDE DIGITAL FILE OF DESIGN TO GENERAL CONTRACTOR FOR COORDINATION WITH MFG.

4 RE-PURPOSED BEAN POT PLANTER ARTWORK
(PHASE 1A AND PHASE 2 - ALT. #3)

SCALE: 3/4" = 1'-0"



- 1 FESTOON LUMINAIRE TO BE INSTALLED IN PHASE 2, RE: ELECTRICAL
- 2 4" POWDERCOATED ROUND 3/16" TUBE STEEL POST, WELD OPEN TOP SHUT, COLOR: MATTE BLACK
- 3 FESTOON LUMINAIRE JUNCTION BOX, RE: ELECTRICAL PLANS
- 4 FINISH GRADE, REFER TO PLANS FOR SURFACE TYPE
- 5 DOME TOP OF CONCRETE TO DRAIN SURFACE WATER
- 6 CAULK JOINT AT TOP OF PIER BETWEEN COLUMN AND CONCRETE
- 7 (3) #3 TIES AT 3" ON CENTER AT TOP
- 8 CAST IN PLACE CONCRETE FOOTING, EXPOSED SURFACES TROWELLED SMOOTH
- 9 COAT STEEL CAST INTO CONCRETE WITH COAL TAR EPOXY OR SIMILAR WATERPROOFING EMULSION
- 10 #3 TIES AT 12" ON CENTER
- 11 (6) #5 VERTICAL
- 12 CONDUIT SLEEVE, RE: ELECTRICAL
- 13 COMPACTED AGGREGATE BASE
- 14 COMPACTED SUBGRADE
- 15 1/2" EXPANSION JOINT WITH CLEAR WATER TIGHT EPOXY
- 16 ADJACENT CONCRETE PAVING, REFER TO DETAIL 6, SHEET LS-503

NOTES:
 1. PVC SLEEVE, CONDUIT, STRUCTURAL CAISSON, AND POST TO BE INSTALLED IN PHASE 1A.
 2. FESTOON LUMINAIRE TO BE INSTALLED IN PHASE 2 - ALT. #3.
 3. CONTRACTOR SHALL COORDINATE WIRING WITHIN TUBE STEEL POSTS FOR FESTOON LUMINAIRE WITH ELECTRICAL CONTRACTOR SHALL PROVIDE STAMPED STRUCTURAL SHOP DRAWINGS, DRAWINGS SHALL MEET ALL APPLICABLE CODE.
 4. STRUCTURAL DETAIL WILL BE A DEFERRED SUBMITTAL UNTIL AFTER THE PROJECT IS AWARDED.
 5. ALL METAL HARDWARE SHALL BE GALVANIZED.

7 FESTOON LIGHT POLE
(PHASE 1A AND PHASE 2 - ALT. #3)



3 BIKE RACK
(PHASE 1A)



5 PICNIC TABLE - TYPE B
(PHASE 1B)

- 1 RE-PURPOSED BEAN POT PLANTER, REFER TO DETAIL 4, SHEET LS-503
- 2 BEAN POT PLANTER VINYL ARTWORK, COLOR: WHITE
- 3 FINISH GRADE

MANUFACTURER: KEYSTONE RIDGE, AS PROVIDED BY GARRET JACOBS, CONTACT: T. (724) 284-1213 ext. 244
 Keystone Ridge Designs, Inc.
 670 Mercor Rd Butler, PA 16001-1840
<https://www.keystoneridgedesigns.com/>

MODEL: CHERRYBUSH BIKE RACK, CW10 (OR APPROVED EQUAL)

COLOR: CHROMITE

MATERIALS: POLYESTER POWDER COATED FINISH

MOUNTING: SURFACE MOUNT

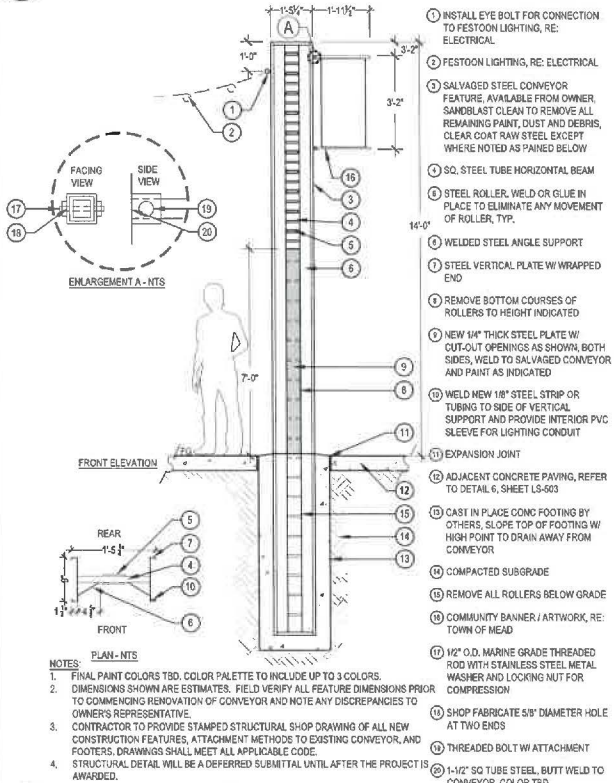
MANUFACTURER: FORMS AND SURFACES, BOB HARLOW, 303-716-5926
robert.harlow@forms-surfaces.com

MODEL: TANGENT TABLE ENSEMBLE, SETAN-4LA, NO UMBRELLA

FRAME: CAST ALUMINUM WITH DARK CORTEN POWDERCOAT FINISH

SEAT AND TABLE TOP: EXTRUDED ALUMINUM SLATS WITH ARGENTO POWDERCOAT FINISH

MOUNTING: SURFACE MOUNT



6 RE-PURPOSED CONVEYOR
(PHASE 1A)

SCALE: 1/2" = 1'-0"

NOTES:
 1. FINAL PAINT COLORS TBD. COLOR PALETTE TO INCLUDE UP TO 3 COLORS.
 2. DIMENSIONS SHOWN ARE ESTIMATES. FIELD VERIFY ALL FEATURE DIMENSIONS PRIOR TO COMMENCING RENOVATION OF CONVEYOR AND NOTE ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE.
 3. CONTRACTOR TO PROVIDE STAMPED STRUCTURAL SHOP DRAWING OF ALL NEW CONSTRUCTION FEATURES, ATTACHMENT METHODS TO EXISTING CONVEYOR, AND FOOTERS. DRAWINGS SHALL MEET ALL APPLICABLE CODE.
 4. STRUCTURAL DETAIL WILL BE A DEFERRED SUBMITTAL UNTIL AFTER THE PROJECT IS AWARDED.

ESSENZA ARCHITECTURE
 685 S. ARTHUR AVE., UNIT 12-B
 COLO SPRING, CO 80507
 PH: 303.952.5800
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MEAD COMMUNITY CENTER
 401 3RD ST. MEAD, CO 80513

1011 L. LINDO COMMAND CENTER DR. DENVER, CO 80202
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

MEAD COLORADO

ISSUE: SITE PLAN SUBMITTAL
DATE: 18 MARCH, 2024
REVIEWS:

DRAWN BY: KS/SL/EN
REVIEWED BY: KS/RH
PROJECT #: 2206
DRAWING TITLE: LANDSCAPE SITE DETAILS

SHEET: LS-502
SITE PLAN SHEET #: 13 of 32

TOWN OF MEAD APPROVAL

THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:

TOWN ENGINEER: _____ **DATE:** _____

811



MANUFACTURER: FORMS AND SURFACES, BOB HARLOW, 303.710.5950, rob@forms-surfaces.com
 MODEL: BALANCE BENCH, SB8AL-72BP
 FRAME: SOLID CAST ALUMINUM WITH DARK CORTEN POWDERCOAT FINISH
 SEAT: STAINLESS STEEL WITH ARGENTO POWDERCOAT FINISH
 MOUNTING: SURFACE MOUNT

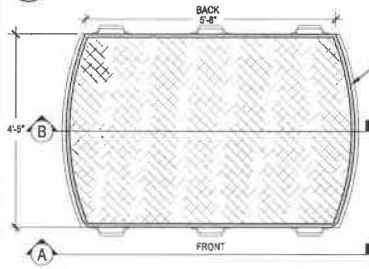


MANUFACTURER: FORMS AND SURFACES, BOB HARLOW, 303.710.5950, rob@forms-surfaces.com
 MODEL: BACKLESS BALANCE BENCH, SB8AL-72NP
 FRAME: SOLID CAST ALUMINUM WITH DARK CORTEN POWDERCOAT FINISH
 SEAT: STAINLESS STEEL WITH ARGENTO POWDERCOAT FINISH
 MOUNTING: SURFACE MOUNT

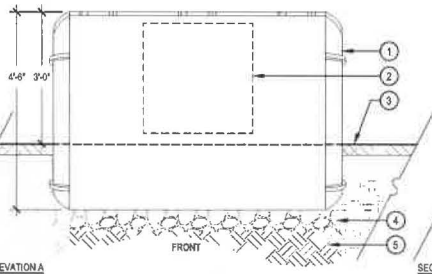


MANUFACTURER: FORMS AND SURFACES, BOB HARLOW, 303.710.5950, rob@forms-surfaces.com
 MODEL: VECTOR TABLE ENSEMBLE, (5) STVTR-72A AND (1) STVTR-72A-ADA
 FRAME: ALUMINUM WITH DARK CORTEN POWDERCOAT FINISH
 SEAT AND TABLE TOP: EXTRUDED ALUMINUM SLATS WITH ARGENTO POWDERCOAT FINISH
 MOUNTING: SURFACE MOUNT

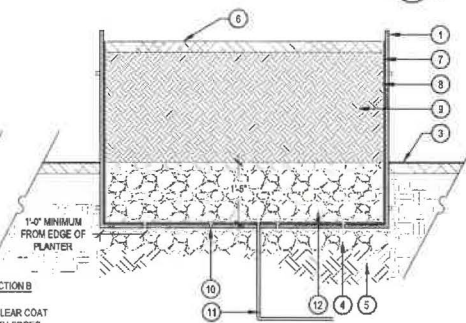
1 BENCH
(PHASE 1A)



2 BACKLESS BENCH
(PHASE 2 - ALT. #3)

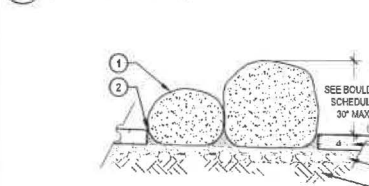


3 PICNIC TABLE - TYPE A
(PHASE 2 - ALT. #3)



- 1 RE-PURPOSED BEAN POT PLANTER, SET PLANTER 1" BELOW FINISH GRADE
- 2 BEAN POT PLANTER ARTWORK, REFER TO DETAIL 4, SHEET LS-502
- 3 FINISH GRADE, REFER TO LANDSCAPE PLANS FOR SURFACE MATERIAL
- 4 6" ROADBASE, COMPACTED TO 95% STANDARD PROCTOR DENSITY
- 5 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- 6 SPECIFIED LANDSCAPE MULCH
- 7 GACOFLEX LM-60 POLYURETHANE ELASTOMERIC WATERPROOFING MEMBRANE, OR APPROVED EQUAL, APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- 8 FILTER FABRIC
- 9 AMENDED TOPSOIL
- 10 BEAN POT PLANTER ARTWORK HOLES, DRILL APPROXIMATELY 8 HOLES EVENLY SPACED ACROSS THE BOTTOM OF THE PLANTER
- 11 PROVIDE SLEEVE FOR DRIP IRRIGATION, REFER TO IRRIGATION PLANS
- 12 3/4" CLEAN WASHED ANGULAR ROCK

4 RE-PURPOSED BEAN POT PLANTER
(PHASE 1A AND PHASE 2 - ALT. #3)



- 1 WATER FEATURE BOULDER, LOCATE PER PLANS, REFER TO MATERIAL SCHEDULE, SHEET LS-501
- 2 1/2" GROUT AROUND BOULDERS, APPLY PREMIUM ELASTOMERIC SEALANT RATED FOR COMMERCIAL OUTDOOR POOLS ENTIRE DEPTH OF JOINT TO ENSURE SEAL
- 3 SPLASHPAD CONCRETE PAVING, REFER TO DETAIL 2, SHEET LS-504
- 4 GRAVEL BASE
- 5 SUBGRADE COMPACTED TO 95% PROCTOR DENSITY

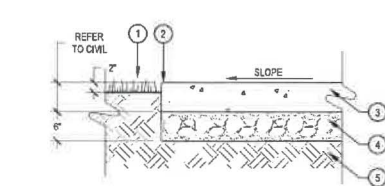
BOULDER SCHEDULE		
QTY.	ITEM	SIZE
5	A' SIZED BOULDER	24" WIDTH X 36" LENGTH X 24" HEIGHT
6	B' SIZED BOULDER	36" WIDTH X 48" LENGTH X 30" HEIGHT

- NOTES:
- FINAL BOULDER LOCATIONS TO BE FIELD LOCATED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - GROUPED BOULDERS AS SHOWN ON PLANS, GRIND AND CHISEL SIDE SURFACES TO PROVIDE INTEGRATED FIT BETWEEN BOULDERS, MAINTAIN MAX. 1/2" GAP OR GREATER THAN 4" BETWEEN BOULDERS.
 - BOULDER SIZES MARKED WITH A, B, OR C ON LANDSCAPE PLAN SHEET LS-102 TO COINCIDE WITH BOULDER SCHEDULE.

5 WATER FEATURE BOULDER
(PHASE 2 - ALT. #3)

SCALE: 1/2" = 1'-0"

6 CONCRETE PAVING
(PHASE 1A, PHASE 1B, AND PHASE 2 - ALT. #3)



- NOTES:
- NORRIS DESIGN HAS PROVIDED THIS DETAIL FOR REFERENCE PURPOSES ONLY, IT HAS NOT BEEN ENGINEERED.
 - ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS UNLESS OTHERWISE STATED BY A LICENSED ENGINEER.
 - MINIMUM BURY DEPTH ON ALL REBAR SHALL BE 2-1/2".
 - CONTROL JOINTS AS SHOWN ON PLANS.
 - EXPANSION JOINTS AT 20' ON CENTER MAXIMUM OR WHERE NOTED.
 - EXPANSION JOINTS AT ALL CONSTRUCTION JOINTS AND SLAB EDGES OF ALL STRUCTURES
 - PROVIDE A 25 SQUARE FOOT MOCK-UP OF CONCRETE PAVING FOR EACH FINISH SPECIFIED. MOCK-UP SHALL INCLUDE CONTROL JOINTS. MOCK-UP NOT REQUIRED FOR STANDARD BROOM FINISH.
 - SLOPE ALL FINISH GRADE TO DRAIN PER PLANS. MAX 2% CROSS SLOPE AND MAX 5% LONGITUDINAL SLOPE UNLESS OTHERWISE INDICATED.

SCALE: 1" = 1'-0"

7 WASTE RECEPTACLE
(PHASE 1A AND PHASE 2 - ALT. #3)



MANUFACTURER: FORMS AND SURFACES, BOB HARLOW, 303.710.5950, rob@forms-surfaces.com
 MODEL: DISPATCH LITTER RECEPTACLE, SLDIS-145
 MATERIALS: SOLID CAST ALUMINUM CONSTRUCTION WITH DARK CORTEN POWDERCOAT FINISH
 MOUNTING: SURFACE MOUNT, REFER TO DETAIL 2, SHEET LS-561 FOR MOUNTING IN LANDSCAPE BED, NATIVE SEED, OR CRUSHER FINES

TOWN OF MEAD APPROVAL

THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:

TOWN ENGINEER _____ DATE _____



ESSENZA ARCHITECTURE
 982 S. ARTHUR AVE., SUITE 12-18
 FORT COLLINS, CO 80502
 PH: 303.932.5800
 WWW.ESSENZAARCHITECT.COM
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NORRIS DESIGN
 PROJECTS & CONSULTING
 127 WEST 10TH AVENUE, SUITE 100
 FORT COLLINS, CO 80502
 PH: 303.932.5800
 WWW.NORRIS-DESIGN.COM

NOT FOR CONSTRUCTION

MEAD COMMUNITY CENTER
 401 3RD ST. MEAD, CO 80513

NOTE: MEAD COMMUNITY CENTER SUBMITTED FINAL PLAN TO TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

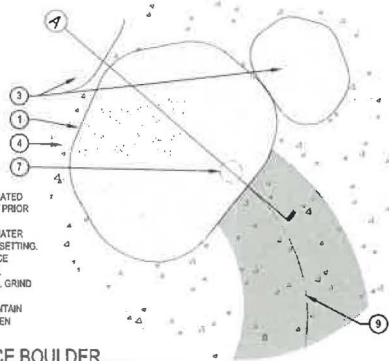
MEAD COLORADO

ISSUE:
 SITE PLAN SUBMITTAL
 DATE:
 18 MARCH, 2024
 REVISIONS:

DRAWN BY:
 KS/SL/EN
 REVIEWED BY:
 KS/RH
 PROJECT #:
 2206
 DRAWING TITLE:
 LANDSCAPE SITE DETAILS

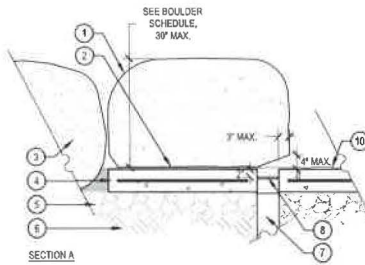
SHEET #:
LS-503

SITE PLAN
 SHEET #
 14 of 32

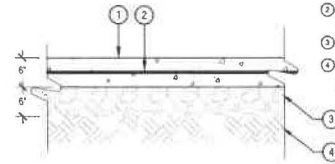


- NOTES**
1. FINAL BOULDER LOCATION TO BE FIELD LOCATED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 2. GRIND AND CHISEL BOTTOM SURFACE OF WATER SOURCE BOULDER AS NEEDED FOR EPOXY SETTING.
 3. GRIND AND CHISEL WATER FEATURE SOURCE BOULDER SO THERE ARE NO SHARP EDGES.
 4. GROUPED BOULDERS AS SHOWN ON PLANS. GRIND AND CHISEL SIDE SURFACES TO PROVIDE INTEGRATED FIT BETWEEN BOULDERS, MAINTAIN MAX. 1/2" GAP OR GREATER THAN 4" BETWEEN BOULDERS.

1 WATER FEATURE SOURCE BOULDER
(PHASE 2 - ALT. #3)



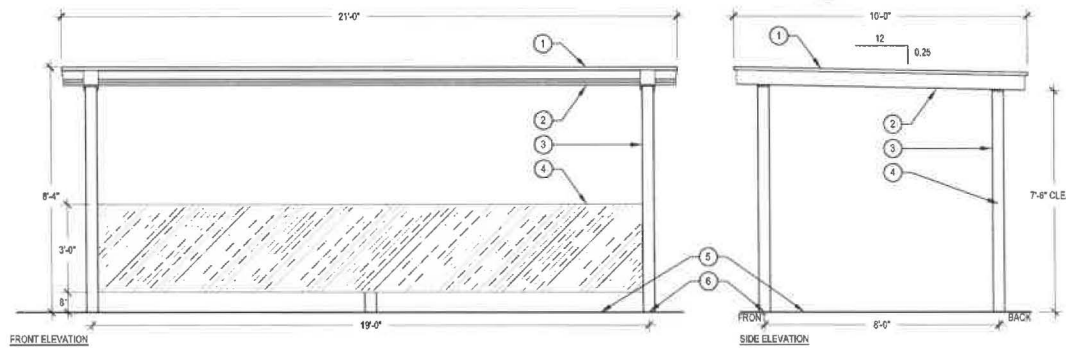
- 1 WATER FEATURE SOURCE BOULDER, REFER TO MATERIAL SCHEDULE, SHEET LS-501, CHISEL FRONT TO PROVIDE 4" X 9" ANGLED RECESS TO WEIR
- 2 PREMIUM CLEAR ELASTOMERIC SEALANT RATED FOR COMMERCIAL OUTDOOR POOLS
- 3 WATER FEATURE BOULDER, REFER TO DETAIL 5, SHEET LS-503
- 4 SPLASHPAD CONCRETE PAVING, REFER TO DETAIL 2, SHEET LS-504
- 5 GRAVEL BASE
- 6 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- 7 WATER FEATURE SUPPLY PIPE, SEE WATER FEATURE MECHANICAL DRAWINGS
- 8 GRATE, SEE WATER FEATURE MECHANICAL DRAWINGS
- 9 CHANNEL CENTERLINE
- 10 WATER SURFACE



- NOTES:**
1. NORRIS DESIGN HAS PROVIDED THIS DETAIL FOR REFERENCE PURPOSES ONLY; IT HAS NOT BEEN ENGINEERED.
 2. CONTRACTOR TO SUPPLY DETAILED SHOP DRAWINGS.
 3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS UNLESS OTHERWISE STATED BY A LICENSED ENGINEER.
 4. MINIMUM BURY DEPTH ON ALL REBAR SHALL BE 2-1/2".
 5. ALL ENHANCED CONCRETE WITHIN SPLASH PAD AREA IS DECORATIVE, 6" DEPTH, AND FORMED IN CONCENTRIC RINGS. ALL DECORATIVE CONCRETE WITHIN THE SPLASH PAD AREA TO BE REINFORCED WITH #4 REBAR SET 18" ON CENTER BOTH WAYS AND SHOULD BE TIED TOGETHER.
 6. REFER TO VORTEX AQUATIC DRAWINGS FOR NOZZLE, SPRAY HEAD PLACEMENT, AND DETAILS.

2 SPLASHPAD CONCRETE PAVING
(PHASE 2 - ALT. #3)

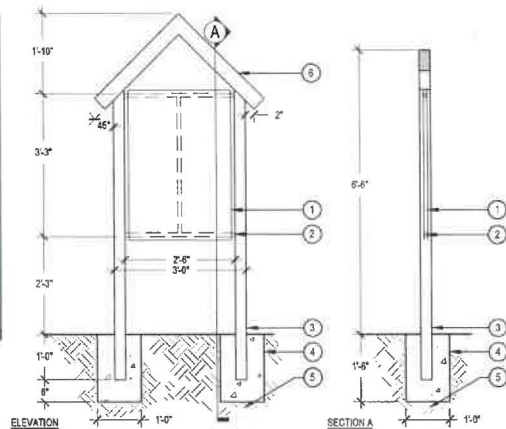
- 1 SPLASH PAD CONCRETE PAVING, REFER TO PLANS
- 2 #4 REBAR, 18" ON CENTER BOTH WAYS
- 3 GRAVEL BASE
- 4 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY



- NOTES**
1. SHADE STRUCTURE TO BE MANUFACTURED BY POLIGON, MODEL MSE-10X21, WITH EXTENDED ROOF OVERHANG AND BEAMS.
 2. DECORATIVE PANEL, TO BE SLOTTED METAL PERFORATED PANEL BY MONCHOLS, TO MATCH ARCHITECTURE. ATTACH TO FRAMING PER MFG RECOMMENDATIONS. ALTERNATIVE: PARASOLEL, LEMON DROP PATTERN.
 3. DECORATIVE PANELS TO BE INSTALLED BETWEEN BACK POSTS OF STRUCTURE. FRAMING TO BE PROVIDED BY MANUFACTURER.
 4. CONTACT HEATHER HEASLEY WITH CHURCHICH RECREATION, LLC. heasler@churchichrecreation.net
 5. FRONT OF STRUCTURE TO FACE THE SPLASHPAD, AS SHOWN ON PLANS.
 6. CONTRACTOR SHALL FURNISH STAMPED STRUCTURAL DRAWINGS FOR FOOTING DESIGN, TO MEET ALL APPLICABLE CODES.

3 SHADE STRUCTURE
(PHASE 2 - ALT. #3)

- 1 METAL STANDING SEAM ROOF, GALVALUME PLUS FINISH
- 2 FASCIA AND BEAMS, PT05 POWDERCOAT, RE: ARCHITECTURAL MATERIAL LIST
- 3 METAL POSTS, PT05 POWDERCOAT, RE: ARCHITECTURAL MATERIAL LIST
- 4 DECORATIVE PANEL, PT06 POWDERCOAT, RE: ARCHITECTURAL MATERIAL LIST
- 5 FINISH GRADE
- 6 EMBED MOUNT STRUCTURE PER MANUFACTURER



- 1 ALUMINUM SIGN, 0.080 GA, ANCHOR TO STEEL FRAME WITH TAMPER-PROOF BOLTS, SIGN FACE TO HAVE A PROTECTIVE GRAFFITI RESISTANT COATING, LETTERING 1" TALL MIN.
- 2 1" X 1" STEEL FRAME (1/8" THICK), WELDED TO TUBE STEEL POST, COLOR TO BE SELECTED BY OWNER
- 3 3" X 3" TUBE STEEL POST, COLOR TO BE SELECTED BY OWNER
- 4 CONCRETE FOOTING
- 5 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY
- 6 4" X 4" TUBE STEEL, WELDED TO TUBE STEEL POST, COLOR TO BE SELECTED BY OWNER

- NOTES:**
1. FINAL FONT, FONT SIZE AND TEXT CONTENT TO BE APPROVED BY OWNER.
 2. RULES SIGN PANEL TO BE SHOWN ON BOTH SIDES OF SIGNAGE AS SHOWN.
 3. WELD JOINTS SHALL BE SEAMLESS, FLUSH CORNERS, GRIND SMOOTH AND DEBURR.
 4. CONTRACTOR SHALL PROVIDE SAMPLES OF PAINT APPLICATION AND COLOR FOR APPROVAL PRIOR TO FABRICATION.
 5. THIS DETAIL REPRESENTS DESIGN INTENT. SIGN FABRICATOR TO PROVIDE SHOP DRAWINGS FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL PRIOR TO CONSTRUCTION AND INSTALLATION.
 6. SIGN FABRICATOR TO COORDINATE WITH LANDSCAPE ARCHITECT FOR SIGN PANEL DIGITAL FILE.

4 REGULATORY SIGNAGE
(PHASE 2 - ALT. #3)



TOWN OF MEAD APPROVAL

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TOWN ENGINEER _____ DATE _____



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MEAD COMMUNITY CENTER
401 3RD ST. MEAD, CO 80513



ISSUE:
SITE PLAN SUBMITTAL
DATE:
18 MARCH, 2024
REVISIONS:

DRAWN BY:
KS/SL/EN
REVIEWED BY:
KS/RH
PROJECT #:
2206
DRAWING TITLE:
LANDSCAPE SITE DETAILS

SHEET #:
LS-504
SITE PLAN
SHEET #
15 of 32

PLANT SCHEDULE - PHASE 1

Table with columns: CODE, QTY, BOTANICAL NAME, COMMON NAME, ROOT, SIZE, WATER USE, HEIGHT, SPREAD. Lists various plants like Deciduous Canopy Trees, Evergreen Trees, Ornamental Trees, Deciduous Shrubs, Evergreen Shrubs, Ornamental Grasses, and Perennials.

IRRIGATED AND NON-IRRIGATED NATIVE SEED MIX

PRE-APPROVED DRYLAND MIX FROM TOWN OF MEAD DESIGN STANDARDS

Table with columns: COMMON NAME, BOTANICAL NAME, % OF TOTAL, PLSIACRE. Lists native plants like Canadensis Wildrye, Thickspike Wheatgrass, Blended Wheatgrass, etc.

IRRIGATED TURF MIX

VORTEX TEXAS BLUEGRASS FROM KORBY SOD LLC

LANDSCAPE SUMMARY TABLE - PHASE 1

Table with columns: LANDSCAPE AREA (SF), SITE TREES (Deciduous, Ornamental or Evergreen), SHRUBS, GRASSES. Totals: 24,167 SF area, 28 trees, 153 shrubs, 140 grasses.

LANDSCAPE SUMMARY TABLE - PHASE 2

Table with columns: LANDSCAPE AREA (SF), SITE TREES (Deciduous, Ornamental or Evergreen), SHRUBS, GRASSES. Totals: 2,635 SF area, 8 trees, 19 shrubs, 48 grasses.

STREET TREE TABLE - PHASE 1

Table with columns: STREET, REQUIREMENT, QUANTITY (LF), REQUIRED, PROVIDED. Example: Third Street, 1 tree, 250 LF required, 6 provided.

NOTES:

1). BECAUSE OF UTILITY CONFLICTS AND BUILDING PROXIMITY, STREET TREES COULD NOT BE PROVIDED ALONG THE FACE OF THE BUILDING. REQUIRED STREET TREES ARE PROVIDED WITHIN AVAILABLE LANDSCAPE AREA.

PLANT SCHEDULE - PHASE 2

Table with columns: CODE, QTY, BOTANICAL NAME, COMMON NAME, ROOT, SIZE, WATER USE, HEIGHT, SPREAD. Lists various plants like Deciduous Canopy Trees, Ornamental Trees, Deciduous Shrubs, Evergreen Shrubs, Ornamental Grasses, and Perennials.

LANDSCAPE NOTES

- 1. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE... 8. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED AT A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS...

ESSENZA ARCHITECTURE logo and contact info: 685 S AVENUE AVE, UNIT 12-8, COLOVEDALE, CO 80504. Phone: 303.942.5880.

NORRIS DESIGN logo and contact info: 1901 W. SHERWOOD BLVD, UNIT 100, DENVER, CO 80202. Phone: 303.756.1424.

MEAD COMMUNITY CENTER logo and address: MEAD COMMUNITY CENTER, 401 3RD ST., MEAD, CO 80513. Includes text: NOT FOR CONSTRUCTION.

MEAD COLORADO logo with a mountain and sun graphic.

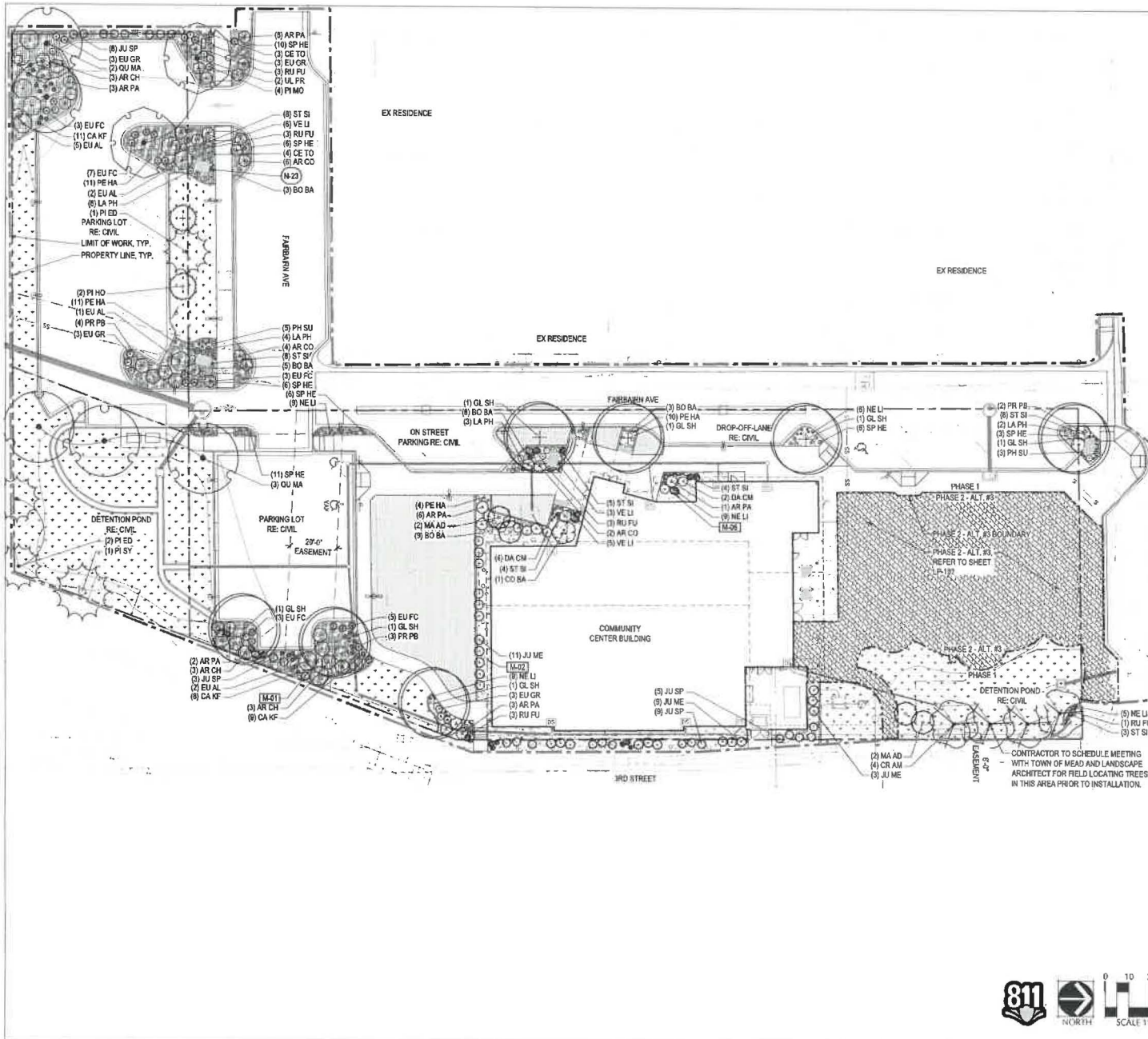
ISSUE: SITE PLAN SUBMITTAL DATE: 18 MARCH, 2024 REVISIONS:

DRAWN BY: K.S/LJEN REVIEWED BY: K.S/RH PROJECT #: 2206 DRAWING TITLE: LANDSCAPE NOTES

SHEET #: LP-001 SITE PLAN SHEETS 16 of 32



TOWN OF MEAD APPROVAL stamp area with fields for TOWN ENGINEER and DATE. Includes text: THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:



LEGEND

	LIMIT OF WORK
	PHASE LINE
	PROPERTY LINE
	IRRIGATED NATIVE SEED
	NON-IRRIGATED NATIVE SEED
	IRRIGATED TURF
CODE	DESCRIPTION
M-01	WOOD MULCH
M-02	ROCK MULCH
SYMBOL	DESCRIPTION
	M-06 LANDSCAPE BOULDER

KEY NOTES

CODE	DESCRIPTION	DETAIL
N-23	RE-PURPOSED BEAN POT PLANTER TYPICAL	5/LP-501

PLANT SCHEDULE

CODE	COMMON NAME
DECIDUOUS CANOPY TREES	
GL SH	SHADEMASTER LOCUST
OU MA	BURR OAK
UL FR	AMERICAN ELM
EVERGREEN TREES	
PI ED	PINON PINE
PI HO	HOOPSI COLORADO SPRUCE
PI SY	SCOTCH PINE
ORNAMENTAL TREES	
CR AM	RUSSIAN HAWTHORN
MA AD	ADIRONDACK CRABAPPLE
DECIDUOUS SHRUBS	
CO BA	BAYLEY'S RED TWIG DOGWOOD
DA CM	CAROL MACKIE DAPHNE
EU AL	COMPACT BURNING BUSH
PR PB	CREeping WESTERN SAND CHERRY
EVERGREEN SHRUBS	
AR CH	CHIEFTAIN MANZANITA
AR CO	MOCK BEARBERRY MANZANITA
AR PA	PANCHITO MANZANITA
EU FC	PURPLE-LEAF WINTERCREEPER
EU GR	GREEN LANE WINTERCREEPER
JU ME	MEDORA JUNIPER
JU SP	SPARTAN JUNIPER
PI MO	MUGO PINE
ORNAMENTAL GRASSES	
BO BA	BLOND AMBITION BLUE GRAMA GRASS
CA KF	KARL FOERSTER FEATHER REED GRASS
PE HA	HAMELN FOUNTAIN GRASS
SP HE	PRAIRIE DROPSIED
PERENNIALS	
DE TO	SNOW IN SUMMER
LA PH	PHENOMENAL LAVENDER
NE LI	LITTLE TRUDY CATMINT
PH SU	CREeping PHLOX
RU FU	BLACK-EYED SUSAN
ST SI	SILVER CARPET LAMB'S EARS
VE LI	TURKISH VERONICA

ESSENZA
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LEAVENWORTH, CO 80037
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NORRIS DESIGN
PLANNING & LANDSCAPE ARCHITECTURE
1500 S. WASHINGTON AVENUE, SUITE 100
DENVER, CO 80202
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WWW.NORRISDESIGN.COM

MEAD COMMUNITY CENTER
401 3RD ST. MEAD, CO 80513

ISSUE:
SITE PLAN SUBMITTAL
DATE:
18 MARCH, 2024
REVISIONS:

DRAWN BY:
KS/SL/EN
REVIEWED BY:
KS/RH
PROJECT #:
2206
DRAWING TITLE:
PHASE 1 LANDSCAPE PLAN

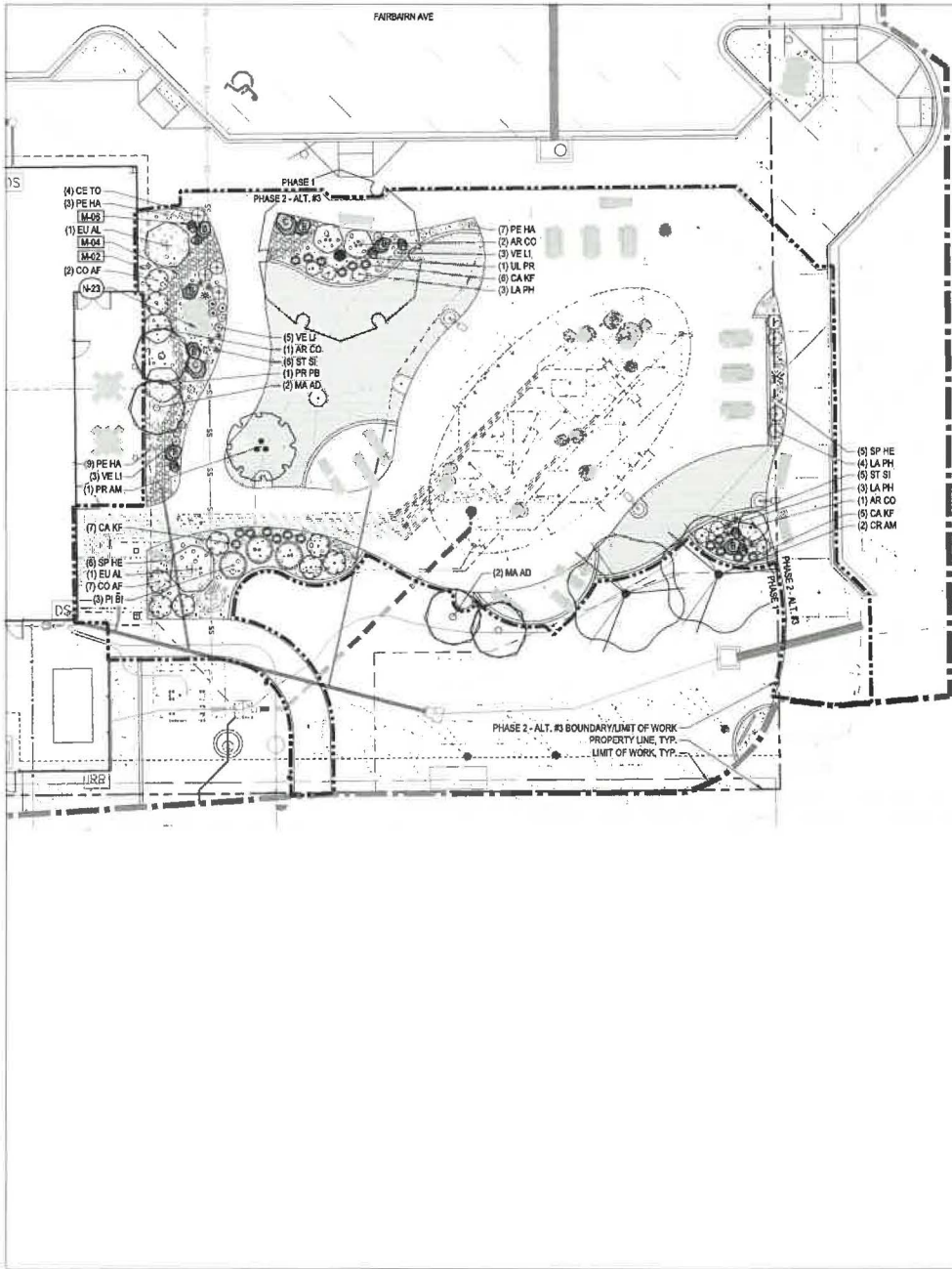
SHEET: **LP-101**
SITE PLAN SHEET # **17 of 32**



TOWN OF MEAD APPROVAL

THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:

TOWN ENGINEER: _____ DATE: _____



LEGEND

- - - - - LIMIT OF WORK
 - - - - - PHASE LINE
 - - - - - PROPERTY LINE
 IRRIGATED NATIVE SEED
 IRRIGATED TURF

CODE	DESCRIPTION
M-02	ROCK MULCH
M-04	COBBLE

SYMBOL	DESCRIPTION
	M-06 LANDSCAPE BOULDER

KEY NOTES

CODE	DESCRIPTION	DETAIL
N-23	RE-PURPOSED BEAN POT PLANTER TYPICAL PLANTING	5 / 1 P-501

PLANT SCHEDULE

CODE	COMMON NAME
DECIDUOUS CANDY TREES	
UL PR	AMERICAN ELM
ORNAMENTAL TREES	
CR AM	RUSSIAN HAWTHORN
MA AD	ADIRONDACK CRABAPPLE
PR AM	AMERICAN PLUM
DECIDUOUS SHRUBS	
CO AF	ARCTIC FIRE DOGWOOD
EU AL	COMPACT BURNING BUSH
PR PB	CREeping WESTERN SAND CHERRY
EVERGREEN SHRUBS	
AR CO	MOCK BERRY MANZANITA
PI BI	BIG TUNA MUJO PINE
ORNAMENTAL GRASSES	
CA KF	KARL FORSTER FEATHER REED GRASS
PE HA	MAHELM FOUNTAIN GRASS
SP HE	PRAIRIE DROPSIDE
PERENNIALS	
CE TO	SNOW IN SUMMER
LA PH	PHENOMENAL LAVENDER
ST SI	SILVER CARPET LAMB'S EARS
VE LI	TURKISH VERONICA

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MEAD COMMUNITY CENTER
 401 3RD ST. MEAD, CO 80513

LOT 1, MEAD COMMUNITY CENTER SUBDIVISION, FINAL PLAT
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



ISSUE:
 SITE PLAN SUBMITTAL
DATE:
 18 MARCH, 2024
REVISIONS:

DRAWN BY:
 KS/SLEEN
REVIEWED BY:
 KS/RH
PROJECT #:
 2206
DRAWING TITLE:
 PHASE 2 LANDSCAPE PLAN

SHEET #: LP-102
SITE PLAN SHEET #: 18 of 32



TOWN OF MEAD APPROVAL

THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:

TOWN ENGINEER _____ DATE _____



1 LANDSCAPE BOULDER, REFER TO MATERIAL SCHEDULE, SHEET LS-501. NATURALLY SET BOULDER SO THAT A MINIMUM 1/4 OF BOULDER IS BELOW FINISH GRADE.

2 3" MINIMUM ROAD BASE COMPACTED TO 95% OF STANDARD PROCTOR DENSITY

3 UNDISTURBED GRADE

4 SPECIFIED MULCH, CRUSHER FINES OR COBBLE, REFER TO PLAN

- NOTES**
- THESE ARE FREE STANDING BOULDERS ONLY. BOULDERS ASSOCIATED WITH THE BOULDER RETAINING WALLS, PARK ENTRY SIGNS AND INTERPRETIVE SIGNS ARE NOT INCLUDED IN THIS COUNT.
 - BOULDER TO HAVE IRREGULAR TOP/SURFACE AND A NATURAL APPEARANCE
 - THE OWNERS REPRESENTATIVE SHALL APPROVE LOCATIONS AND SIZES OF ALL BOULDERS PRIOR TO PLACING.
 - CONTRACTOR SHALL SUBMIT SAMPLE OR PHOTOS FOR APPROVAL.
 - BOULDER SIZES MARKED WITH A, B, OR C ON LANDSCAPE PLAN SHEET LP-101 AND LP-102 TO COINCIDE WITH BOULDER SCHEDULE.

PHASE 1A

BOULDER SCHEDULE	QTY	ITEM	SIZE
1	2	1" SIZED BOULDER	24-30" DIAMETER X 18" MINIMUM DEPTH
2	4	1" SIZED BOULDER	30-40" DIAMETER X 24" MINIMUM DEPTH
3	2	1" SIZED BOULDER	48-60" DIAMETER X 32" MINIMUM DEPTH

PHASE 1B

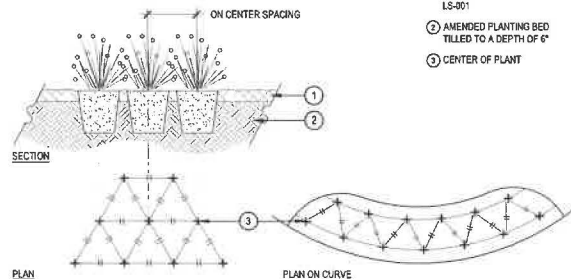
BOULDER SCHEDULE	QTY	ITEM	SIZE
4	5	1" SIZED BOULDER	24-30" DIAMETER X 18" MINIMUM DEPTH
5	7	1" SIZED BOULDER	30-40" DIAMETER X 24" MINIMUM DEPTH
6	3	1" SIZED BOULDER	48-60" DIAMETER X 32" MINIMUM DEPTH

PHASE 2 - ALT. #3

BOULDER SCHEDULE	QTY	ITEM	SIZE
7	1	1" SIZED BOULDER	24-30" DIAMETER X 18" MINIMUM DEPTH
8	7	1" SIZED BOULDER	30-40" DIAMETER X 24" MINIMUM DEPTH
9	2	1" SIZED BOULDER	48-60" DIAMETER X 32" MINIMUM DEPTH

BOULDER SCHEDULES ARE BROKEN INTO PHASES 1A/1B FOR OWNER/CONTRACTOR BIDDING PURPOSES. PHASES 1A/1B ARE ASSUMED INSTALLED IN A SINGLE PHASE.

EXAMPLE IMAGE:



NOTES:

- WHEN PLANTED ON A CURVE, ORIENT ROWS TO FOLLOW THE LONG AXIS OF AREAS WHERE PLANTS ARE MASSSED.

1 LANDSCAPE BOULDER
(PHASE 1A, PHASE 1B, AND PHASE 2 - ALT. #3) SCALE: 3/4" = 1'-0"

2 PERENNIAL PLANT LAYOUT
(PHASE 1A, PHASE 1B, AND PHASE 2 - ALT. #3) SCALE: 1" = 1'-0"

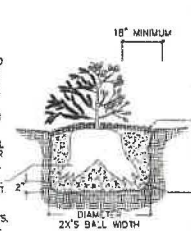
PRUNE DEAD OR DAMAGED BRANCHES PRIOR TO PLANTING IF BRANCH IS COMPROMISED BY PRUNING, REPLACE SHRUB

SPACE PLANTS AND SET PLUMB FOR BEST EFFECT

MOUND COMPACTED BACKFILL UNDER ROOTBALL OR SET ON UNDISTURBED SOIL

SPLIT BOTTOM 1/2 OF BALL, SPREAD AND PLANT

REMOVE ALL CONTAINERS, BASKETS, WIRE ETC FROM ROOTBALL



PROVIDE 18" MINIMUM DISTANCE FROM EDGE OF MATURE PLANT SPREAD TO EDGER OR CONCRETE.

SET SHRUB PLUMB, TOP OF ROOT BALL TO BE SLIGHTLY ABOVE FINISH GRADE.

3" - 4" DEEP APPROVED MULCH INSIDE SAUCER, ON GEO-TEXTILE WEED BARRIER. BUILD A 4" BASKIN AROUND PIT IN NON-IRRIGATED AREAS ONLY.

PREPARED BACKFILL MIXTURE:

- ONE PART SOIL AMENDMENT - SEE APPROVED MATERIALS LIST.
- TWO PARTS TOPSOIL.
- THREE PARTS NATIVE SOIL.
- SUPERPHOSPHATE AMENDMENT.

MATERIALS TO BE THOROUGHLY BLENDED.

NOTES: SEE CITY OF LONGMONT DESIGN STANDARDS & CONSTRUCTION SPECIFICATIONS AND APPROVED MATERIALS LIST FOR APPROVED PRODUCTS AND INSTALLATION REQUIREMENTS.

ADD BEAVER PROTECTION AROUND DECIDUOUS PLANTINGS WITHIN 200' OF ALL RIPARIAN AREAS, PER CITY STANDARDS.

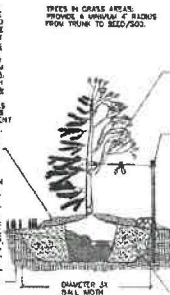
NOTE: SET ROOT BALLS OF ALL TREES 1" ABOVE GRADE. BRUSH OFF LEAVES AND AT GRADE TO 2" ABOVE GRADE IN NON-IRRIGATED AREAS. VERIFY SOIL CONDITIONS WARRANT A PER CITY CONSTRUCTION INSTALL. DO NOT BURN ALIVE TREES TO CREATE A WATERING BASKIN. SOON IS TEMPORARY IN IRRIGATED AREAS. REMOVE BASKIN AFTER TWO THROUGH WATERINGS IN IRRIGATED AREAS & MULCH LEAVE BASKIN IN PLACE IN NON-IRRIGATED AREAS & IN AREAS ONLY IRRIGATED BY GROUND SYSTEM AFTER OFF-PEAK GRASS ESTABLISHMENT PERIOD.

5" - 4" DEEP APPROVED MULCH INSIDE SAUCER ON GEO-TEXTILE WEED BARRIER. BUILD A 4" BASKIN AROUND PIT IN NON-IRRIGATED AREAS ONLY.

PLANTING HOLE: ROOTBALL TO BE PLACED ON UNDISTURBED SOIL AT DEPTH AS NOTED. HOLE TO BE 1/2" OF "D" ABOVE AND 1/2" BELOW BOTTOM 1/3 OF HOLE BASKIN AND PLUMB. REMOVE REMAINING MULCH & WEED BARRIER FROM HOLE. BASKIN & BASKIN BASKIN BASKIN 2/3 OF HOLE. REMOVE TOP 1/2 OF BASKIN & CONCRETE BACKFILL.

UNDISTURBED SOIL

DIAMETER OF BALL WIDTH



TREES IN ORCHARD AREES PROVIDE A MINIMUM 2' BASKIN FROM TRUNK TO BASKIN/SOIL.

PLUMB AS DIRECTED BY OWNER'S REPRESENTATIVE. DO NOT PLUMB OR DAMAGE CENTRAL LEADER.

WELD PLUMB FROM GROUND LEVEL TO SECOND BRANCH WITH 4" BRASS TYPED TREE WEAIR. SECURE ENDS WITH FIBERGLASS TAPE.

APPROVED PLUMBING SYSTEM:

MIN. 8' LONG HEAVY DUTY T-BAR STEEL POST STAKES WITH WHITE PLASTIC CAPS OR 8" WOODEN POLE STAKES (PREFERRED). QUITS ARE TO BE 1/2" GAUGE GALVANIZED STEEL SPIRES OR STRAP-WOUND STEEL SPIRES TO TREE WITH GALVANIZED STRAP ABOVE FIRST BRANCH.

HOLE TO BE 1/2" HIGHER THAN OVER-SIGHT. FLAG WITH WHITE PLASTIC FLAGGING TAPE OR PVC PIPE CAPS. TO HAVE 2 STAKES FOR TREES 6" AND LESS, 3 STAKES FOR TREES ABOVE 6" AND SHORT STAKES PERMITTED FOR TREES 6" AND LESS. DECIDUOUS TREES TO HAVE 2 STAKES FOR TOPPER 25-1/2" CAL. AND LESS, 3 STAKES ABOVE 25-1/2" CAL. ONE STAKE ALWAYS IN DIRECTION OF PREVAILING WINDS. REMOVE STAKES & QUITS AFTER 1 YEAR OR BEFORE FINAL ACCEPTANCE BY CITY.

PREPARED BACKFILL MIXTURE:

- ONE PART SOIL AMENDMENT - SEE APPROVED MATERIALS LIST
- TWO PARTS TOPSOIL.
- THREE PARTS NATIVE SOIL.
- SUPERPHOSPHATE AMENDMENT.

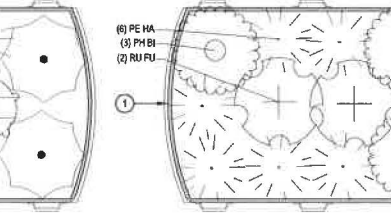
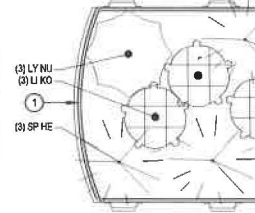
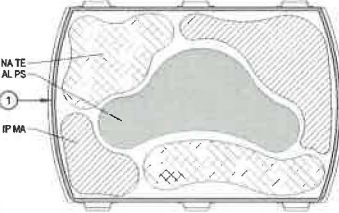
MATERIALS TO BE THOROUGHLY BLENDED.

NOTES: SEE CITY OF LONGMONT DESIGN STANDARDS & CONSTRUCTION SPECIFICATIONS AND APPROVED MATERIALS LIST FOR APPROVED PRODUCTS AND INSTALLATION REQUIREMENTS.

ADD BEAVER PROTECTION AROUND DECIDUOUS PLANTINGS WITHIN 200' OF ALL RIPARIAN AREAS, PER CITY STANDARDS.

3 TOWN OF MEAD SHRUB PLANTING DETAIL NOT TO SCALE

4 TOWN OF MEAD TREE PLANTING DETAIL NOT TO SCALE



PLANTER OPTION A - ANNUAL PLANTING

PLANT SCHEDULE OPTION A	SYMBOL	BOTANICAL NAME	COMMON NAME
NATE	ALPS	ALLIUM X PURPLE SENATION'	PURPLE SENATION (ORNAMENTAL ONION)
IPMA		IPOMOEA X MANGUERITE'	MARGUERITE SWEET POTATO VINE
NATE		NARCISSUS X TETE-A-TETE'	TETE-A-TETE DAFFODIL

PLANTER OPTION B - PERENNIAL PLANTING

PLANT SCHEDULE OPTION B	SYMBOL	BOTANICAL NAME	COMMON NAME
SPHE		SPOROBOLUS NEREUSIENSIS	PRairie Dropseed
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME
LIKO	3	LATHRUS SPICATA 'KOROLD'	KOROLD BLAZING STAR
LYNU	3	LYTHRACHA MANHATTANA	ORANGEBELL JUMP

PLANTER OPTION C - PERENNIAL PLANTING

PLANT SCHEDULE OPTION C	SYMBOL	BOTANICAL NAME	COMMON NAME
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME
PEHA	1	PERNANETHUS ALGECOURIENSIS 'PAMELY'	HAMELY FOREMAN GRASS
PHBI	3	PHLOX BIFIDA	SNOWMASS PHLOX
RUFU	2	RUDOLPHIA FLORIDA GOLDSTRUM	BLACK-EYED SUSAN

5 REPURPOSED BEAD POT PLANTER TYPICAL PLANTING
(PHASE 1A AND PHASE 2 - ALT. #3) SCALE: 3/4" = 1'-0"

NOTES:

- THIS DETAIL REPRESENTS SUGGESTED PLANTING OPTIONS. FINAL PLANT SPECIES TO BE VERIFIED WITH OWNERS REPRESENTATIVE.



1 REPURPOSED BEAN POT PLANTER, REFER TO DETAIL 4, SHEET LS-503



TOWN OF MEAD APPROVAL

THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:

TOWN ENGINEER _____ DATE _____

ESSENZA ARCHITECTURE

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PROFESSIONAL LANDSCAPE ARCHITECTS

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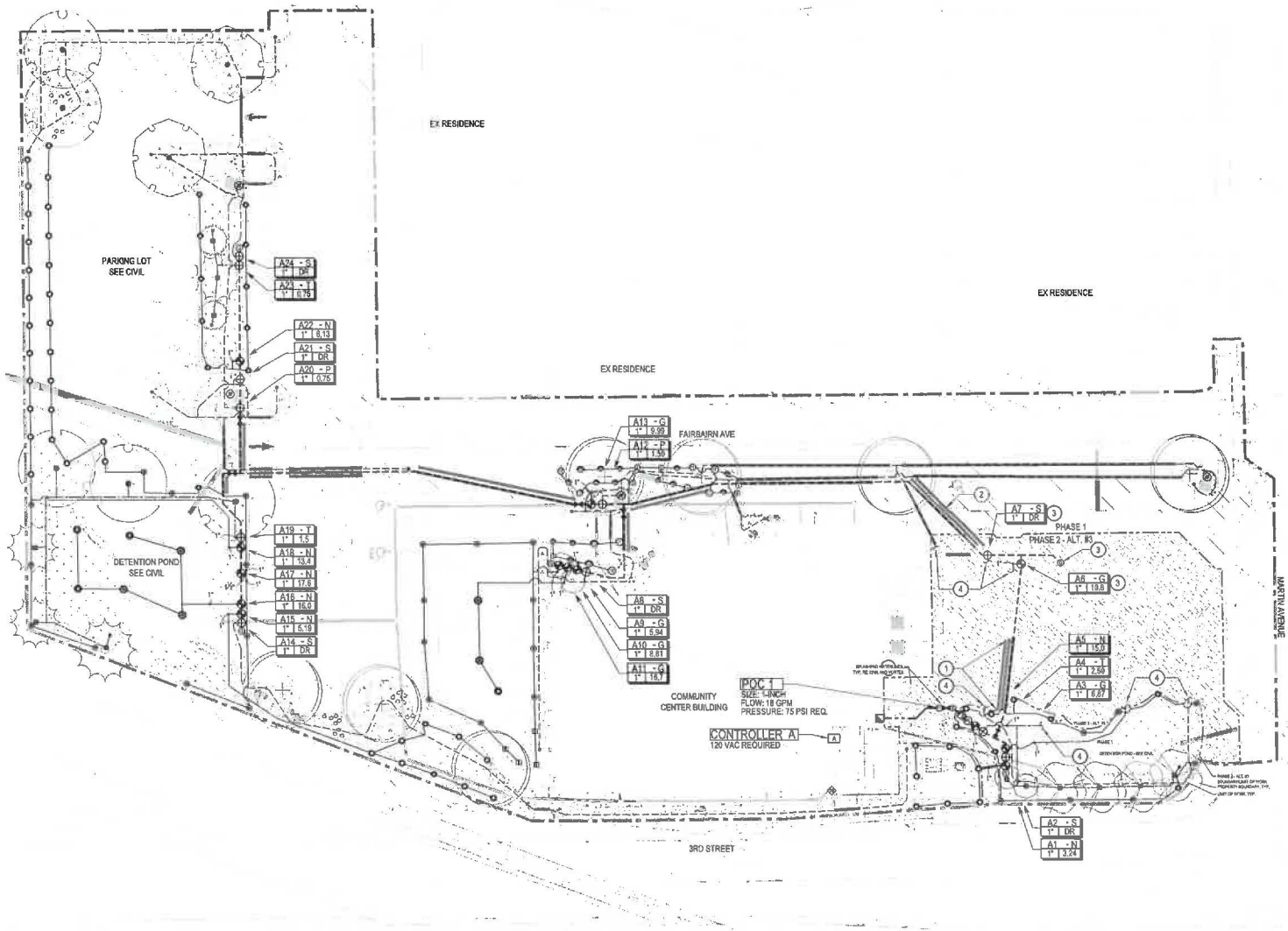
NOTE: LAYOUT OF PLANTING IS BASED ON APPROVED PLANS BY THE TOWN OF MEAD, CO. 80513.



ISSUE: SITE PLAN SUBMITTAL
DATE: 18 MARCH, 2024
REVISIONS:

DRAWN BY: KS/SJ/EN
REVIEWED BY: KS/RH
PROJECT #: 2206
DRAWING TITLE: LANDSCAPE DETAILS

SHEET #: LP-501
SITE PLAN SHEET # 19 of 32



IRRIGATION SCHEDULE	
SYMBOL	DESCRIPTION
POC-X	IRRIGATION POINT OF CONNECTION
IC	IRRIGATION CONTROLLER
RAI	RAIN SENSOR
BFP	BACKFLOW PREVENTER
MDV	MANUAL DRAIN VALVE
IGV	ISOLATION GATE VALVE
QC	QUICK COUPLER
FS	FLOW SENSOR
MV	MASTER VALVE
TVA	TURF VALVE ASSEMBLY
DVA	DRIP VALVE ASSEMBLY
TR	TURF ROTARY
TSF	TURF SPRAY (FIXED)
TSA	TURF SPRAY (ADJUSTABLE)
NSR	NATIVE SEED ROTARY
TN	TREES IN NATIVE
PP	PLANTER POT ASSEMBLIES
S	SLEEVING
SL	SERVICE LINE
PVC	PVC MAINLINE
PT	PVC TURF LATERAL
PL	PVC TREE LATERAL
DL	DRIP LATERAL
FL	FLUSH END
CAP	CAP

IRRIGATION KEY NOTES

- THE IRRIGATION CONTRACTOR SHALL COORDINATE WITH THE SPLASH PAD DESIGNER AND OWNER'S REPRESENTATIVE ON THE LOCATION(S) OF THE SPLASH PAD PIPING IN THE APPROXIMATE LOCATION. IRRIGATION MAINLINE AND CONTROL WIRE SHALL BE ROUTED AND INSTALLED TO AVOID CONFLICT WITH THESE PIPES. INSTALL ONE (1) 4-INCH AND TWO (2) 2-INCH CLASS 200 SLEEVES FOR MAINLINE AND CONTROL WIRE PATHS AND EXTEND SLEEVES OVER ENTIRE AREA OF CONFLICT.
- THE IRRIGATION CONTRACTOR SHALL INSTALL ONE (1) 4-INCH AND TWO (2) 2-INCH CLASS 200 PVC SLEEVES WITH PHASE 1 CONSTRUCTION FOR FUTURE WALKS. SLEEVES SHALL EXTEND A MINIMUM OF 6-INCHES PAST FUTURE SIDEWALK EDGES. CONFIRM FINAL LOCATIONS AND SLEEVE LENGTHS WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- ALL IRRIGATION MAINLINE, SLEEVES AND EQUIPMENT SHOWN SHALL BE INSTALLED IN PHASE 1 CONSTRUCTION AND PROTECTED-IN-PLACE FOR PHASE 2, ALT. #3 CONSTRUCTION. IRRIGATION CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE FOR FINAL LOCATIONS, PRIOR TO CONSTRUCTION OF BOTH PHASE 1 AND PHASE 2, ALT. #3.
- THE IRRIGATION CONTRACTOR SHALL ROUTE AND INSTALL SPRINKLER LATERAL TO THE APPROXIMATE LOCATION SHOWN AND CAP FOR FUTURE CONNECTION TO PHASE 2, ALT. #3 IRRIGATION.



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NOT TO SCALE
 COUNTY OF WELD, STATE OF COLORADO



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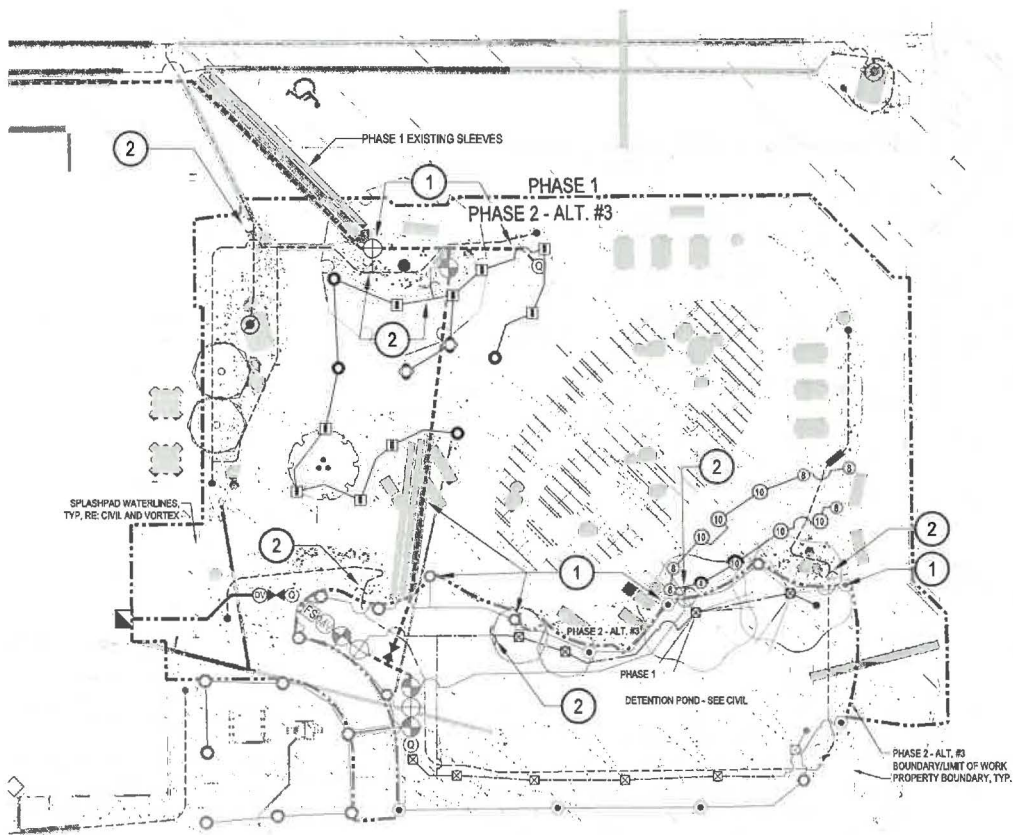
DRAWN BY:
 KS/SL/EN
 REVIEWED BY:
 KS/RH
 PROJECT #:
 2206
 DRAWING TITLE:

TOWN OF MEAD APPROVAL

THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL.

TOWN ENGINEER _____ DATE _____

PHASE 1 IRRIGATION PLAN
 SHEET #:
LI-101
 SHEET #
21 of 32



MARTIN AVENUE



IRRIGATION KEY NOTES

- 1 DURING PHASE 2 - ALT. #3 CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL FIELD LOCATE AND PROTECT-IN-PLACE THE EXISTING IRRIGATION EQUIPMENT AT THE APPROXIMATE LOCATION SHOWN. REFER TO PHASE 1 CONSTRUCTION DOCUMENTS PRIOR TO THE START PHASE 2 - ALT. #3 CONSTRUCTION.
- 2 THE IRRIGATION CONTRACTOR SHALL FIELD LOCATE AND CONNECT TO EXISTING SPRINKLER LATERAL AT THE APPROXIMATE LOCATION SHOWN. MATCH EXISTING LATERAL PIPE SIZE AND ROUTE NEW LATERALS AS SHOWN ON PLAN.

IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION
EC	EXISTING IRRIGATION CONTROLLER
FS	EXISTING FLOW SENSOR
MS	EXISTING MASTER VALVE
IS	EXISTING ISOLATION GATE VALVE
EV	EXISTING MANUAL DRAIN VALVE
BP	EXISTING BACKFLOW PREVENTER
QC	EXISTING QUICK COUPLER
FS	EXISTING FLOW SENSOR
MS	EXISTING MASTER VALVE
TA	EXISTING TURF VALVE ASSEMBLY
DA	EXISTING DRIP VALVE ASSEMBLY
TR	TURF ROTARY
TS	TURF SPRAY (FIXED)
TA	TURF SPRAY (ADJUSTABLE)
NR	EXISTING NATIVE SEED ROTARY
NS	NATIVE SEED ROTARY
BT	EXISTING TREES BUBBLER
TR	TREES BUBBLER
PA	EXISTING PLANTER POT ASSEMBLIES
PL	PLANTER POT ASSEMBLIES
SL	EXISTING SLEEVING
SL	SLEEVING
SL	EXISTING SERVICE LINE
SL	EXISTING PVC MAINLINE
SL	EXISTING PVC TURF LATERAL
SL	PVC TURF LATERAL
SL	EXISTING PVC TREE LATERAL
SL	PVC TREE LATERAL
SL	EXISTING DRIP LATERAL
SL	DRIP LATERAL
SL	EXISTING LATERAL FLUSH END CAP
SL	LATERAL FLUSH END CAP

TOWN OF MEAD APPROVAL

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APPROVED BY: _____

TOWN ENGINEER _____ DATE _____

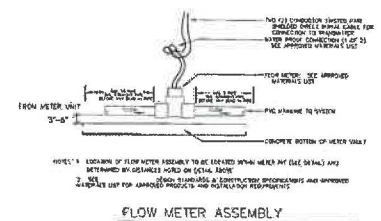
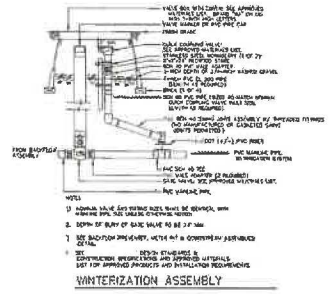
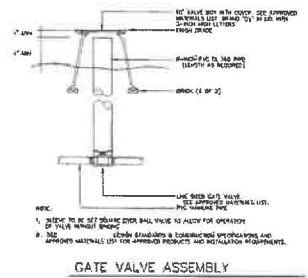
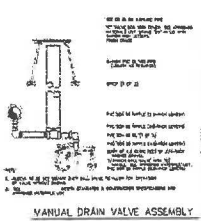
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 REVIEWED BY:
 KS/RH
 PROJECT #:
 2206
 DRAWING TITLE:



SCALE: NTS

	TOWN OF MEAD STANDARD DESIGN CRITERIA	D8.09
	Valve Drain Assembly	DATE: 01/2018

SCALE: NTS

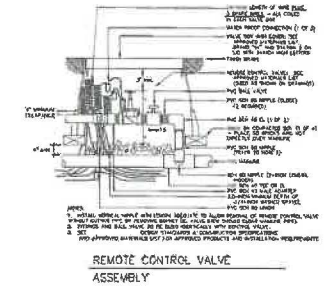
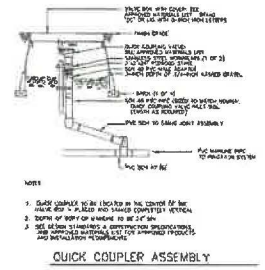
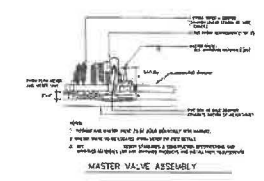
	TOWN OF MEAD STANDARD DESIGN CRITERIA	D8.10
	Gate Valve Assembly	DATE: 01/2018

SCALE: NTS

	TOWN OF MEAD STANDARD DESIGN CRITERIA	D8.03
	Winterization Assembly	DATE: 01/2018

SCALE: NTS

	TOWN OF MEAD STANDARD DESIGN CRITERIA	D8.12
	Flow Meter Assembly	DATE: 01/2018



SCALE: NTS

	TOWN OF MEAD STANDARD DESIGN CRITERIA	D8.08
	Master Valve Assembly	DATE: 01/2018

SCALE: NTS

	TOWN OF MEAD STANDARD DESIGN CRITERIA	D8.05
	Quick Coupler Assembly	DATE: 01/2018

SCALE: NTS

	TOWN OF MEAD STANDARD DESIGN CRITERIA	D8.04
	Remote Control Valve Assembly	DATE: 01/2018



TOWN OF MEAD APPROVAL

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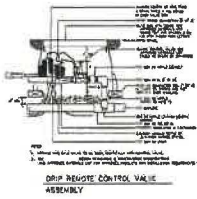
MEAD COMMUNITY CENTER SUBSTATION PLANS, I.E.
TOWN OF MEAD, COUNTY OF WARD, STATE OF COLORADO



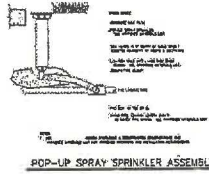
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KS/RH
PROJECT #:
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IRRIGATION DETAILS
SHEET #:
LI-501
SITE PLAN
SHEET #
23 of 32



PHASE 1



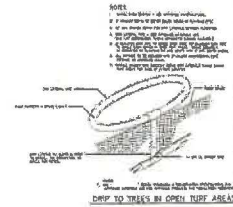
PHASE 1 & PHASE 2 ALT. #3

LEGEND
 1. 1/2" NPT SPRAY - SEE SPRINKLER ASSEMBLY DETAIL
 2. 1/2" NPT SPRAY - SEE SPRINKLER ASSEMBLY
 3. 1/2" NPT SPRAY - SEE SPRINKLER ASSEMBLY
 4. 1/2" NPT SPRAY - SEE SPRINKLER ASSEMBLY

NOTE
 1. SHRUB BEDS TO BE IRRIGATED BY THIS SYSTEM
 2. 1/2" NPT SPRAY - SEE SPRINKLER ASSEMBLY DETAIL
 3. 1/2" NPT SPRAY - SEE SPRINKLER ASSEMBLY DETAIL
 4. 1/2" NPT SPRAY - SEE SPRINKLER ASSEMBLY DETAIL
 5. 1/2" NPT SPRAY - SEE SPRINKLER ASSEMBLY DETAIL
 6. 1/2" NPT SPRAY - SEE SPRINKLER ASSEMBLY DETAIL
 7. 1/2" NPT SPRAY - SEE SPRINKLER ASSEMBLY DETAIL
 8. 1/2" NPT SPRAY - SEE SPRINKLER ASSEMBLY DETAIL
 9. 1/2" NPT SPRAY - SEE SPRINKLER ASSEMBLY DETAIL
 10. 1/2" NPT SPRAY - SEE SPRINKLER ASSEMBLY DETAIL

SHRUB DETAIL IN SHRUB BEDS

PHASE 1 & PHASE 2 ALT. #3



PHASE 1 & PHASE 2 ALT. #3

SCALE: NTS	TOWN OF MEAD STANDARD DESIGN CRITERIA	D8.13
	Drip Remote Control Valve Assembly	DATE: 01/2018

SCALE: NTS	TOWN OF MEAD STANDARD DESIGN CRITERIA	D8.06
	Pop Up Spray Sprinkler Assembly	DATE: 01/2018

SCALE: NTS	TOWN OF MEAD STANDARD DESIGN CRITERIA	D8.14
	Shrub Bed Drip Detail	DATE: 01/2018

SCALE: NTS	TOWN OF MEAD STANDARD DESIGN CRITERIA	D8.15
	Drip to Trees in Open Turf Areas	DATE: 01/2018



TOWN OF MEAD APPROVAL	
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TOWN ENGINEER:	DATE:

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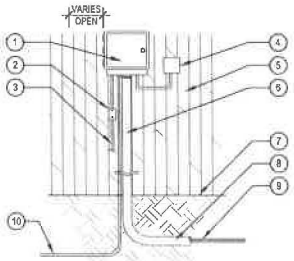
MEAD COMMUNITY CENTER
 401 3RD ST. MEAD, CO 80513
 LOT 1, MEAD COMMUNITY CENTER SUBDIVISION (PHASE 1A)
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



ISSUE:
 SITE PLAN SUBMITTAL
 DATE:
 18 MARCH, 2024
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DRAWN BY:
 KS/SUJEN
 REVIEWED BY:
 KS/RH
 PROJECT #:
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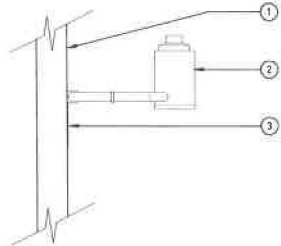
IRRIGATION DETAILS
 SHEET #:
 LI-502
 SITE PLAN
 SHEET #:
 24 of 32



- 1 CONTROLLER MOUNT AT EYE LEVEL PER MANUFACTURER'S RECOMMENDATIONS
- 2 DISCONNECT SWITCH
- 3 120V POWER SOURCE IN STEEL CONDUIT
- 4 WIRELESS SENSOR RECEIVER
- 5 BUILDING EXTERIOR WALL
- 6 RIGID STEEL CONDUIT W/ CONTROL WIRES TO VALVES
- 7 FINISH GRADE
- 8 CONDUIT TO EXTEND 5 FT. BEYOND WALL
- 9 UF DIRECT BURIAL WIRE TO CONTROL VALVES
- 10 UF DIRECT BURIAL WIRE TO GROUNDING PER ASIC GUIDELINES

NOTE:
 1. ALL ELECTRICAL AND CONTROLLER WIRE TO BE INSTALLED PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.
 2. GROUND CONTROLLER PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.
 3. PROVIDE WATERPROOF SEALANT FOR ALL CONDUIT AND WIRE ACCESS POINTS.
 4. PROVIDE LOCK FOR ENCLOSURE.

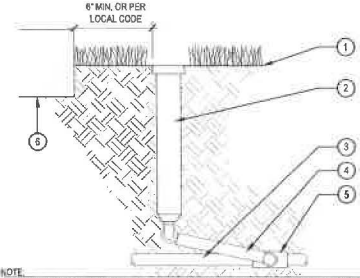
1 CONTROLLER WALL MOUNT EXTERIOR PHASE 1



- 1 SUITABLE FASCIA, WALL, OR GUTTER MOUNT, MOUNT IN LOCATION WHERE SENSOR CAN RECEIVE FULL SUN AND IS OPEN TO RAINFALL.
- 2 WIRELESS RAIN SENSOR, LOCATE WITHIN 50' OF THE CONTROLLER.
- 3 SECURE MOUNTING BRACKET TO EXTERIOR WALL WITH SCREWS PER LOCAL CODES

NOTE:
 1. PROVIDE WATERPROOF SEALANT FOR ALL CONDUIT AND WIRE ACCESS POINTS.
 2. FINAL LOCATION AND MOUNTING SYSTEM TO BE DETERMINED BY OWNER.
 3. SENSOR SHOULD NOT BE MOUNTED UNDER TREES, IN AREAS AFFECTED BY SPRINKLER SYSTEM OR UNDER EAVE OF HOUSE.

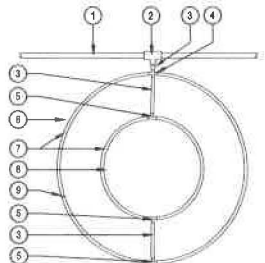
2 RAIN SENSOR SURFACE MOUNT PHASE 1



- 1 FINISH GRADE
- 2 12" POP-UP SPRAY HEAD PER SCHEDULE
- 3 PVC LATERAL PIPE PER SCHEDULE
- 4 SWING JOINT ASSEMBLY
- 5 PVC SCH. 40 TEE OR ELB. (S x T)
- 6 WALLS, WALKS, COURTS, CURB, ETC.

NOTE:
 1. AFTER FLUSHING HEADS, REGRADE AND COMPACT AS NEEDED TO RETURN TO FINISH GRADE.
 2. SPRINKLERS HEAD SHALL BE LEVEL WITH SURROUNDING FINISHED GRADE.
 3. ADJUST ALL SPRINKLERS HEADS SO THAT NO OVERSPRAY OCCURS ON ANY WALLS, WALKS, COURTS, ETC.
 4. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.
 5. COMPACT SOIL AROUND HEAD TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.

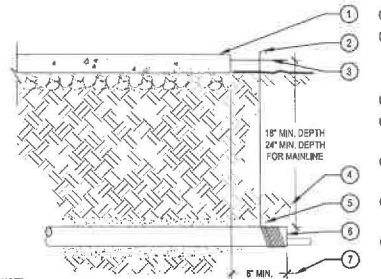
3 12 INCH POP-UP SPRAY PHASE 1 & PHASE 2 ALT. #3



- 1 PVC DRIP MANIFOLD PIPE
- 2 PVC SCH 40 TEE OR EL
- 3 DRIP BLANK TUBING
- 4 CROSS INSERT FITTING
- 5 TREE INSERT FITTING
- 6 PROJECTED CANOPY LINE OF TREE
- 7 SUB-SURFACE DRIPLINE
- 8 ROOT BALL
- 9 TIE DOWN STAKE

NOTE:
 1. DISTANCE BETWEEN LATERAL RINGS AND EMITTER SPACING TO BE BASED ON SOIL TYPE AND TREE CANOPY. SEE RAIN BIRD XF-SOI DRIPLINE INSTALLATION GUIDE FOR SUGGESTED SPACING.
 2. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 3. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

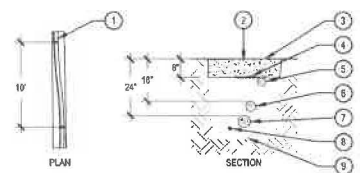
4 DRIPLINE TREE RING PHASE 1 & PHASE 2 ALT. #3



- 1 PAVING
- 2 WRAP 12 GAUGE GALVANIZED WIRE AROUND EACH END OF SLEEVE (9 WRAPS MIN.) AND EXTEND TO SURFACE AS A LOCATING DEVICE
- 3 FINISH GRADE / TOP OF DG
- 4 COMPACT SOIL AROUND SLEEVE TO SAME DENSITY AS ADJACENT UNDISTURBED SOIL
- 5 WASHED AND GRADED MORTAR SAND BACKFILL IN ROCKY SOIL CONDITIONS
- 6 PVC SLEEVE PER SCHEDULE, TWICE DIAMETER OF THE SUM OF THE PIPES WIRES
- 7 EXTEND SLEEVES 6" BEYOND EDGES OF PAVING

NOTE:
 1. ALL SLEEVES SHALL BE INSPECTED PRIOR TO BACKFILLING.
 2. CAP SLEEVES UNTIL USE.
 3. MULTIPLE SLEEVES REQUIRE 4" HORIZONTAL SEPARATION WITHIN SAME SLEEVE TRENCH.
 4. IRRIGATION PIPE AND WIRE SHALL NOT SHARE THE SAME SLEEVE.
 5. MARK / STAMP - "X" AND/OR INSTALL PLACARD AT BACK OF CURB.

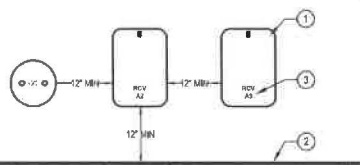
5 PIPE SLEEVE PHASE 1 & PHASE 2 ALT. #3



- 1 SNAKE PVC OR POLYETHYLENE PIPE IN TRENCH
- 2 EXCAVATED COVER MATERIAL (SEE NOTES)
- 3 FINISH GRADE
- 4 MANLINE MARKING TAPE (PURPLE MARKING TAPE IF RECLAIMED)
- 5 POLYETHYLENE DRIP LATERAL/ DRIP PVC LATERAL PIPE (6" MIN. COVERAGE, 18" MIN. COVERAGE BELOW PEDESTRIAN WALKS.)
- 6 IRRIGATION LATERAL PIPE
- 7 IRRIGATION MANLINE PIPE
- 8 VALVE WIRING
- 9 BEDDING MATERIAL (SEE NOTES)

NOTE:
 1. ALL MANLINES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. ALL PVC PIPING TO BE SNAKED IN TRENCHES AS SHOWN IN PLAN VIEW ABOVE.
 3. ALL 120 VOLT WIRING IN CONDUIT TO BE INSTALLED AS PER LOCAL CODES.
 4. ALL ELECTRICAL WIRE CONNECTIONS TO VALVES AND SPLICES TO BE INSTALLED WITHIN A VALVE BOX AND MADE WITH DRY WATERPROOF CONNECTORS, OR APPROVED EQUAL.
 5. BUNDLE AND TAPE WIRING AT 10' INTERVALS.
 6. VALVE WIRES TO BE INSTALLED WITHIN MANLINE TRENCH WHEREVER POSSIBLE.
 7. BEDDING MATERIAL SHALL BE 1/4" MINUS SAND, AND SHALL BE 3" BELOW LOWEST PIPE OR WIRE AND 3" ABOVE HIGHEST PIPE OR WIRE WITHIN TRENCH.
 8. BEDDING MATERIAL SHALL BE IN MANLINE TRENCH ONLY.
 9. BEDDING IS NOT REQUIRED IN POLYETHYLENE TUBING TRENCHES.
 10. EXCAVATED COVER MATERIAL SHALL BE FREE FROM DEBRIS AND ROCKS 1/2" OR GREATER.
 11. PIPE BEDDING MATERIAL TO BE ROCK AND DEBRIS FREE, BACKFILL IN 6" LIFTS, FIDDLE WITH WATER, BETWEEN LIFTS.

6 PIPE TRENCH PHASE 1 & PHASE 2 ALT. #3



- 1 VALVE BOX; ALIGN EVENLY AND SPACE EVENLY FROM SIDEWALK, STRUCTURE, WALL, OR CURB
- 2 SIDEWALK OR PAVING
- 3 VALVE BOX LID BRANDED WITH CONTROLLER & STATION NUMBER

NOTE:
 1. INSTALL ONLY ONE RCV TO VALVE BOX. LOCATE AT LEAST 12-INCHES FROM AND ALIGN WITH NEARBY WALLS OR EDGES OF PAVED AREAS. GROUP RCV ASSEMBLIES TOGETHER WHERE PRACTICAL.
 2. GROUP RCV ASSEMBLIES TOGETHER WHERE PRACTICAL, BUT AVOID GROUPING MORE THAN THREE (3) STANDARD VALVE BOXES TOGETHER IN A SERIES.
 3. ARRANGE GROUPED VALVE BOXES IN RECTANGULAR PATTERNS.

7 VALVE BOX PLACEMENT

ESSENZA ARCHITECTURE
 145 S. ARTHUR AVENUE, SUITE 200
 LOUISVILLE, CO 80027
 303.305.5000
 www.essenzaarch.com

NORRIS DESIGN
 PRODUCE + ARCHITECTURE
 10000 E. YELLOW CANYON
 SUITE 1000
 DENVER, CO 80231
 303.755.1100
 www.norris-design.com

NORRIS-DESIGN.COM

NOT FOR CONSTRUCTION

MEAD COMMUNITY CENTER
 401 3RD ST. MEAD, CO 80513

1011 W. 40TH AVENUE, SUITE 100, DENVER, CO 80202
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

MEAD
 COLORADO

ISSUE:
 SITE PLAN SUBMITTAL
 DATE:
 18 MARCH, 2024
 REVISIONS:

DRAWN BY:
 KS/SU/EN
 REVIEWED BY:
 KS/RH
 PROJECT #:
 2206
 DRAWING TITLE:

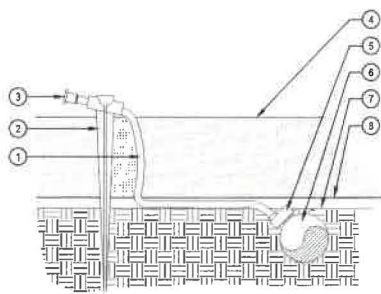
TOWN OF MEAD APPROVAL

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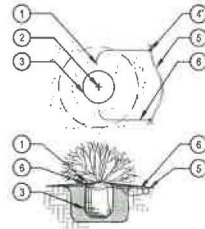
TOWN ENGINEER _____ DATE _____



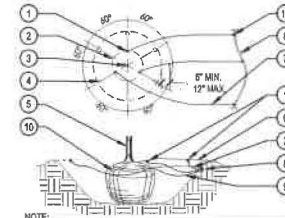
IRRIGATION DETAILS
 SHEET #:
LI-503
 SITE PLAN
 SHEET #
 25 of 32



- ④ 1/4" DISTRIBUTION TUBING, RUN TUBING UNDER WEED BARRIER FABRIC TO PLANT, LENGTH NOT TO EXCEED 8'
- ⑤ UNIVERSAL 1/4" STAKE
- ⑥ DIFFUSER CAP
- ⑦ TOP OF MULCH
- ⑧ PRESSURE COMPENSATING EMITTER PER EMITTER SCHEDULE, INSTALL EMITTER AT 45° TO 60° ANGLE
- ③ 3/4" POLYETHYLENE TUBING SET WITH TOP OF TUBING FLUSH WITH FINISH GRADE OF SOIL
- ① FINISH GRADE OF SOIL
- ② WEED BARRIER FABRIC



- ① DIFFUSER CAP W/ DRIP STAKE
- ② PLANT CENTER
- ③ PLANT ROOTBALL
- ④ SINGLE OUTLET EMITTER
- ⑤ 3/4" POLYETHYLENE DRIP TUBING
- ⑥ 1/4" DISTRIBUTION TUBING (LENGTH NOT TO EXCEED 8')

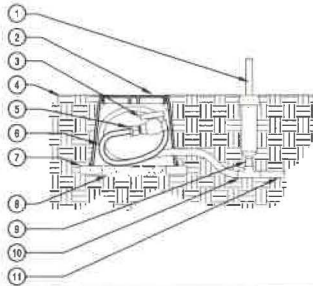


- ① EMISSION POINT, DIFFUSER CAP W/ DRIP STAKE (TYP.)
 - ② PLANT ROOT BALL (TYP.)
 - ③ PLANT CENTER (TYP.)
 - ④ SECOND EMISSION POINTS SEE NOTE 3 BELOW
 - ⑤ TREE TRUNK
 - ⑥ MULCH LAYER
 - ⑦ 1/4" DISTRIBUTION TUBING (LENGTH NOT TO EXCEED 8')
 - ⑧ 3/4" POLYETHYLENE DRIP TUBING
 - ⑨ SINGLE OUTLET EMITTER
 - ⑩ ROOTBALL
- NOTE:
 1. MAXIMUM LENGTH OF ONE DISTRIBUTION TUBE SHALL BE 8'.
 2. ALL EMISSION POINTS SHALL BE LOCATED ON UPHILL SIDE OF PLANT MATERIAL, ONE EMISSION POINT SHALL BE DIRECTLY TO PLANT BALL AS INDICATED, ADDITIONAL EMISSION POINTS SHALL BE WITHIN PLANT PIT PERIMETER AS DIRECTED IN THE EMITTER SCHEDULE.
 3. SECOND EMISSION POINTS (IF NEEDED) AS PER THE EMITTER SCHEDULE FOR TREES WITH 3" CALIPER OR GREATER OR CONIFEROUS TREES 1" OR GREATER IN HEIGHT.
 4. THIS IS A WATERING GUIDE ONLY, SITE, SOIL AND PLANT CONDITIONS VARY GREATLY, CONTRACTOR MUST OBSERVE THE PLANT MATERIAL AND MAKE ADJUSTMENTS AS NECESSARY FOR PROPER PLANT WATER REQUIREMENT.

1 SINGLE OUTLET EMITTER

PHASE 1 & PHASE 2 ALT. #3

SCALE: NTS



- ① 12" MIN. POP-UP HEAD WITH ENCLOSED NOZZLE AND SWING PIPE (ZONE OPERATIONAL INDICATOR)
- ② LOCKING ROUND BOX & COVER PER SCHEDULE, TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- ③ 3/4" SCH. 40 PVC BALL VALVE
- ④ FINISH GRADE
- ⑤ 3/4" MALE ADAPTER W/ CLAMPS
- ⑥ 3/4" POLYETHYLENE DRIP TUBING - 24" COIL IN BOX FOR MAINTENANCE
- ⑦ BRICK (2 REQUIRED MIN)
- ⑧ 3/4" GRAVEL SUMP, 4" DEPTH
- ⑨ 1/2" SCH. 80 NIPPLE (LENGTH AS NEEDED)
- ⑩ 3/4" x 3/4" x 1/2" MIF INSERT TEE
- ⑪ POLY LATERAL

- NOTE:
 1. COMPACT SOIL AROUND VALVE BOX TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
 2. INSTALL OPERATIONAL INDICATOR WITHIN 24" OF FLUSH VALVE.
 3. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.

4 DRIP FLUSH VALVE WITH OPERATIONAL INDICATOR

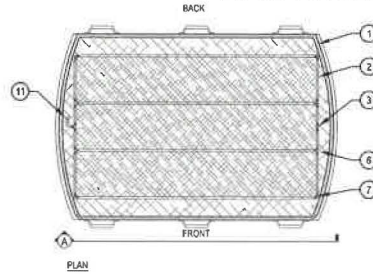
PHASE 1 & PHASE 2 ALT. #3

SCALE: NTS

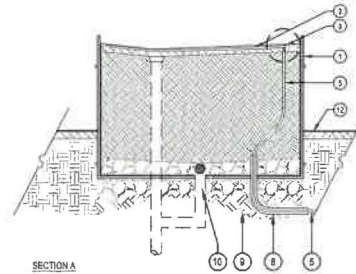
2 SINGLE OUTLET EMITTER PLACEMENT

PHASE 1 & PHASE 2 ALT. #3

SCALE: NTS



- NOTES:
 1. CONTRACTOR SHALL ALLOCATE ADDITIONAL LENGTH IN BLANK TUBING WITHIN PLANTER FOR MAINTENANCE PURPOSES.
 2. CONDUIT SLEEVING TO EXTEND 2 FEET FROM PLANTER BOX.



- ① REPURPOSED BEAN POT PLANTER, PER LANDSCAPE PLANS
- ② 1/2" RAIN BIRD XFCV-69-12 ON-SURFACE DRIPLINE, ROWS SPACED 12" MAXIMUM
- ③ RAIN BIRD XFF-TFA-050 BARB TEE FEMALE ADAPTER FITTING
- ④ 1/2"x3/4" MALE ADAPTER (MAG) FITTING
- ⑤ 3/4" BLANK TUBING
- ⑥ 1/2" RAIN BIRD XFF-TEE DRIP FITTING
- ⑦ 1/2" RAIN BIRD XFF-ELBOW DRIP FITTING
- ⑧ 1-1/2" CONDUIT SLEEVING - CONTRACTOR TO SEAL POT OPENING AROUND SLEEVING
- ⑨ COMPACTED SUB GRADE
- ⑩ DRAINAGE PER LANDSCAPE PLANS
- ⑪ FLUSH CAP
- ⑫ FINISH GRADE

5 IN-LINE DRIP EMITTERS IN REPURPOSED BEAN POT PLANTERS

PHASE 1 & PHASE 2 ALT. #3

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 970.352.2900
 970.352.2900
 NORRIS DESIGN
 127 W. WYOMING STREET
 FORT COLLINS, CO 80513
 970.352.2900
 NORRISDESIGN.COM

NOT FOR CONSTRUCTION

MEAD COMMUNITY CENTER
 401 3RD ST. MEAD, CO 80513

LOT 1, MEAD COMMUNITY CENTER SUBDIVISION (P&U) PLAT
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO

MEAD COLORADO

ISSUE:
 SITE PLAN SUBMITTAL
 DATE:
 18 MARCH, 2024
 REVISIONS:

DRAWN BY:
 KS/SLEN
 REVIEWED BY:
 KS/RH
 PROJECT #:
 2206
 DRAWING TITLE:



TOWN OF MEAD APPROVAL

THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL APPROVED BY:

TOWN ENGINEER _____ DATE _____

IRRIGATION DETAILS
 SHEET #:
 LI-504
 OF 28 PLAN SHEETS #
 26 of 32



PRELIMINARY
NOT FOR CONSTRUCTION
07/21/23



ESSENZA
ARCHITECTURE
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P:303.752.5040
WWW.ESSENZAARCH.COM
ESSENZA ARCHITECTS
ESSENZA ARCHITECTURE, LLC 2019

EXTERIOR ELEVATION **DOOR**
MATERIAL LEGEND

- REFER TO MATERIALS LIST FOR MATERIALS NOT LISTED HERE. REFER TO PRE-ENGINEERED METAL BUILDING DRAWINGS AND SPECIFICATIONS FOR METAL SIDING AND ROOF MATERIALS.
- MT01 STANDING SEAM METAL ROOF
FINISH: GALVALUME
 - MT02 METAL PANEL AP, VERTICAL
COLOR: ASH GRAY
 - MT03 METAL PANEL AP, VERTICAL
COLOR: ROYALE BLUE
 - MT04 METAL PANEL CS, HORIZONTAL
FINISH: ROYALE BLUE
 - MT05A METAL PANEL T1, VERTICAL
COLOR: DARK BRONZE (#50)
 - MT05B METAL PANEL T1, HORIZONTAL
COLOR: DARK BRONZE (#50)
 - MT06 METAL FSP PANEL
COLOR: ASH GRAY (AG)
 - MT07 MICHOLTS SLOTTED METAL PERF. PANEL
COLOR: MATCH MT05 DARK BRONZE
 - MT08 METAL PANEL, HORIZONTAL
COLOR: DARK BRONZE
 - CM01 BASALTITE GROUND FACE
FINISH: 897WR
 - PT02 PPG1002-S ANTIQUE SILVER (WARM GRAY)
EXPOSED METAL FRAME
 - PT09 PPG1002-S ANTIQUE SILVER (WARM GRAY)
EXPOSED METAL FRAME

PROJECT KEYNOTES

- 10.04 LOUVERED SHADE CANOPY WITH SUPPORT BRACES, RE: PEUB AND SPIES
- 10.08 FRONT LIT ALUMINUM CHANNEL LETTER SIGNAGE ON CANOPY, RE: SIGNAGE
- 13.07 PREFINISHED DOWNSPOUT BY PEUB MARK.

NOT FOR CONSTRUCTION

MEAD COMMUNITY CENTER
401 3RD ST. MEAD, CO 80542

ELEVATIONS

1417 MEAD COMMUNITY CENTER SUBDIVISION FINAL PLAT
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



ISSUE:
SITE PLAN SUBMITTAL
DATE:
07/21/23
REVISIONS:
11/10/23
03/18/24

DRAWN BY:
MF
REVIEWED BY:
CP
PROJECT #:
CP
DRAWING TITLE:
ELEVATIONS

SHEET #
A027.
SITE PLAN
SHEET #
27 of 32

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NOT FOR CONSTRUCTION
07/21/23



ESSENZA
ARCHITECTURE
685 S. ARTHUR AVE., UNIT 32 A & B
LOUISVILLE, CO 80527
PHONE: 752-5890
WWW.ESSENZAARCH.COM
ESSENZA ARCHITECTURE, LLC 2023



SOUTHWEST PERSPECTIVE



NORTHWEST PERSPECTIVE

NOT FOR
CONSTRUCTION

MEAD COMMUNITY CENTER
401 3RD ST., MEAD, CO 80542

3D PERSPECTIVES

LOT 1, MEAD COMMUNITY CENTER SUBDIVISION (THRU PLAT)
TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



ISSUE:
SITE PLAN SUBMITTAL
DATE:
07/21/23
REVISIONS:
11/10/23
03/18/24

DRAWN BY:
MF
REVIEWED BY:
CP
PROJECT #:
CP
DRAWING TITLE:
3D PERSPECTIVES

SHEET #
A028
SITE PLAN
SHEET #
28 of 32



ESSENZA ARCHITECTURE
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AE DESIGN
 Integrated Lighting Technology
 1000 S. ARTHUR AVE., UNIT 12 A & B
 DENVER, CO 80202
 (303) 733-1000

MEAD COMMUNITY CENTER
 401 3RD ST. MEAD, CO 80513
 TOWN OF MEAD, COUNTY OF WELD, STATE OF COLORADO



REVISIONS
 SITE PLAN SUBMITTAL
 DATE: 07/21/23
 REVISION: 11/10/23
 03/18/24

DRAWN BY: EB CG
 CHECKED BY: KM JMS
 PROJECT #: 2206
 DRAWING TITLE: LIGHTING FIXTURE CUTSHEET

SHEET #: E-2
 SHEET TOTAL: 30 of 32

TOWN OF MEAD APPROVAL
 THESE PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM THE DATE OF THE TOWN ENGINEER'S APPROVAL.
 TOWN ENGINEER: _____ DATE: _____

ODEN LED Specifications

When the manufacturer's data sheet is not available, the Oden LED fixture is available in a variety of configurations and options. The Oden LED fixture is available in a variety of configurations and options. The Oden LED fixture is available in a variety of configurations and options.

Ordering Information

MODEL	OFFICE	LENS	CURRENT	WATTAGE	WARRANTY	FINISH	OUTFITTER	OPTIONS
ODEN-1	1000	1000	1000	1000	1000	1000	1000	1000

VISIONAIRE LIGHTING
 W. FA. 866.663.1777
 REV. 0
 OCLM23.03

FGP Path Light

Product Data Sheet

The FGP Path Light is a modern, sleek lighting fixture that provides a warm, ambient glow. It is designed for use in outdoor settings, such as walkways, patios, and gardens. The fixture is made of high-quality materials and is built to last.

Lighting Facts

- Lighting Facts
- Lighting Facts

Technical Specifications

- Lighting Facts
- Lighting Facts

4DR LED Downlight - Round

Williams

Technical Specifications

- Lighting Facts
- Lighting Facts

Notes

1. All dimensions are in inches unless otherwise specified.
2. All materials are to be of the highest quality.
3. All work is to be done in accordance with the applicable codes and standards.
4. All materials are to be installed in accordance with the manufacturer's instructions.
5. All work is to be done in accordance with the applicable codes and standards.
6. All materials are to be installed in accordance with the manufacturer's instructions.
7. All work is to be done in accordance with the applicable codes and standards.
8. All materials are to be installed in accordance with the manufacturer's instructions.
9. All work is to be done in accordance with the applicable codes and standards.
10. All materials are to be installed in accordance with the manufacturer's instructions.

TYPE ED1, ED1EM

TYPE EB1

TYPE EA1, EA2, EA3



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 147 S. ARTHUR AVE., UNIT 17 A & B
 FORT COLLINS, CO 80527
 WWW.ESSENZAARCHITECT.COM
 (970) 226-1800



AEDESIGN
 147 S. ARTHUR AVE., UNIT 17 A & B
 FORT COLLINS, CO 80527

MEAD COMMUNITY CENTER
 401 3RD ST. MEAD, CO 80513
 LIGHTING FIXTURE CUTSHEET
 (07-1) LIGHT QUALITY CENTER IS DIMENSIONAL PLAN
 TYPICAL MEAD, CO 80513



NAME: SITE PLAN SUBMITTAL
 DATE: 07/21/23
 REVISIONS: 11/10/23
 01/18/24
 DRAWN BY: EB, CC
 REVIEWED BY: KM, MS
 DATE: 07/21/23
 DRAWING TITLE: LIGHTING FIXTURE CUTSHEET
 SHEET #: E-3
 SITE PLAN SHEET # 31 of 32



811
 Call before you dig

LED S30-MET | Wet Location Linear LED Strip, 24 VDC

Optics

Features:
 - 100% LED
 - 100% Dimmable
 - 100% Waterproof
 - 100% Flexible
 - 100% Durable
 - 100% Reliable
 - 100% Efficient
 - 100% Long Life



Technical Information

LED S30-MET
 24 VDC
 100% Dimmable
 100% Waterproof
 100% Flexible
 100% Durable
 100% Reliable
 100% Efficient
 100% Long Life

Item	Description	Quantity	Notes
1	LED S30-MET Strip	100	100% Dimmable, 100% Waterproof
2	LED S30-MET Strip	100	100% Dimmable, 100% Waterproof



Ordering code

LED S30-MET
 24 VDC
 100% Dimmable
 100% Waterproof
 100% Flexible
 100% Durable
 100% Reliable
 100% Efficient
 100% Long Life

TYPE EL1

GARDCO
 by **Qualify**

Garage & Canopy
 Softview
 100% Dimmable, 100% Waterproof



Technical Information

GARDCO
 100% Dimmable
 100% Waterproof
 100% Flexible
 100% Durable
 100% Reliable
 100% Efficient
 100% Long Life

Item	Description	Quantity	Notes
1	GARDCO Garage & Canopy	1	100% Dimmable, 100% Waterproof



Ordering code

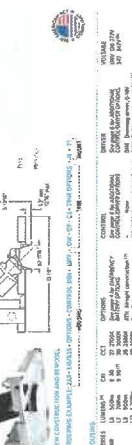
GARDCO
 100% Dimmable
 100% Waterproof
 100% Flexible
 100% Durable
 100% Reliable
 100% Efficient
 100% Long Life

TYPE ED3

2AR LED 7' Adjustable Downlight - Recess

Williams

Adjustable Downlight
 100% Dimmable, 100% Waterproof



Technical Information

2AR LED
 100% Dimmable
 100% Waterproof
 100% Flexible
 100% Durable
 100% Reliable
 100% Efficient
 100% Long Life

Item	Description	Quantity	Notes
1	2AR LED 7' Adjustable Downlight	1	100% Dimmable, 100% Waterproof



Ordering code

2AR LED
 100% Dimmable
 100% Waterproof
 100% Flexible
 100% Durable
 100% Reliable
 100% Efficient
 100% Long Life

TYPE ED2

TOWN OF MEAD APPROVAL
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 TOWN ENGINEER
 DATE

